

# Service Now

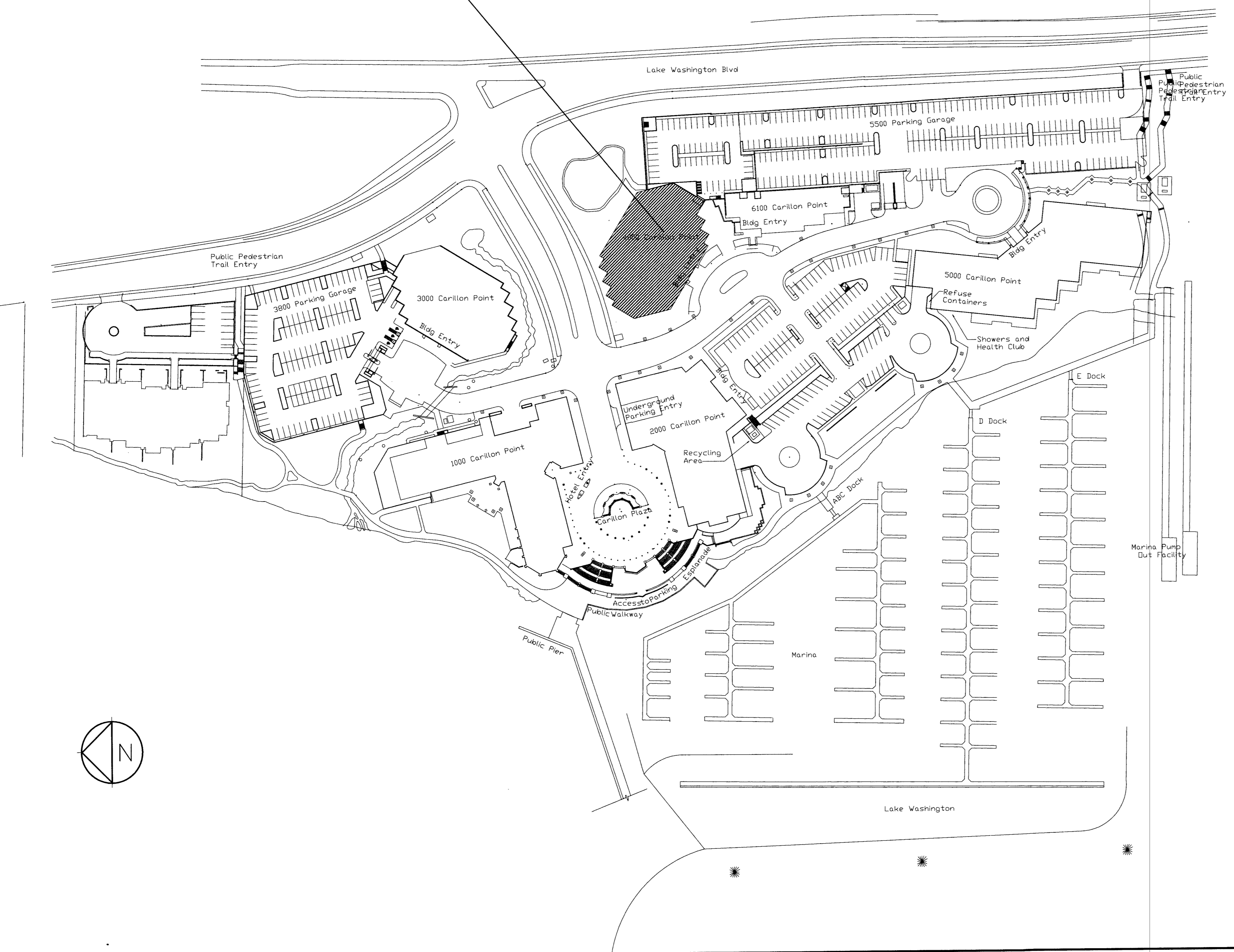
## Building 4000 Floors 3 and 4

### Site Plan

Scale: N.T.S.

### PROJECT SITE

Carillon Point  
Building 4000



### Deferred Submittals:

MECHANICAL PERMIT	FIRE ALARM SYSTEM
ELECTRICAL PERMIT	FIRE SPRINKLER SYSTEM
PLUMBING PERMIT	

- DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN CHARGE (ARCHITECT/ENGINEER OF RECORD) FOR REVIEW PRIOR TO SUBMITTAL TO THE BUILDING OFFICIAL.
- NO WORK SHALL PROCEED ON ANY DEFERRED SUBMITTAL ITEMS UNTIL THE DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL AND PERMIT OBTAINED.

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### Code Information:

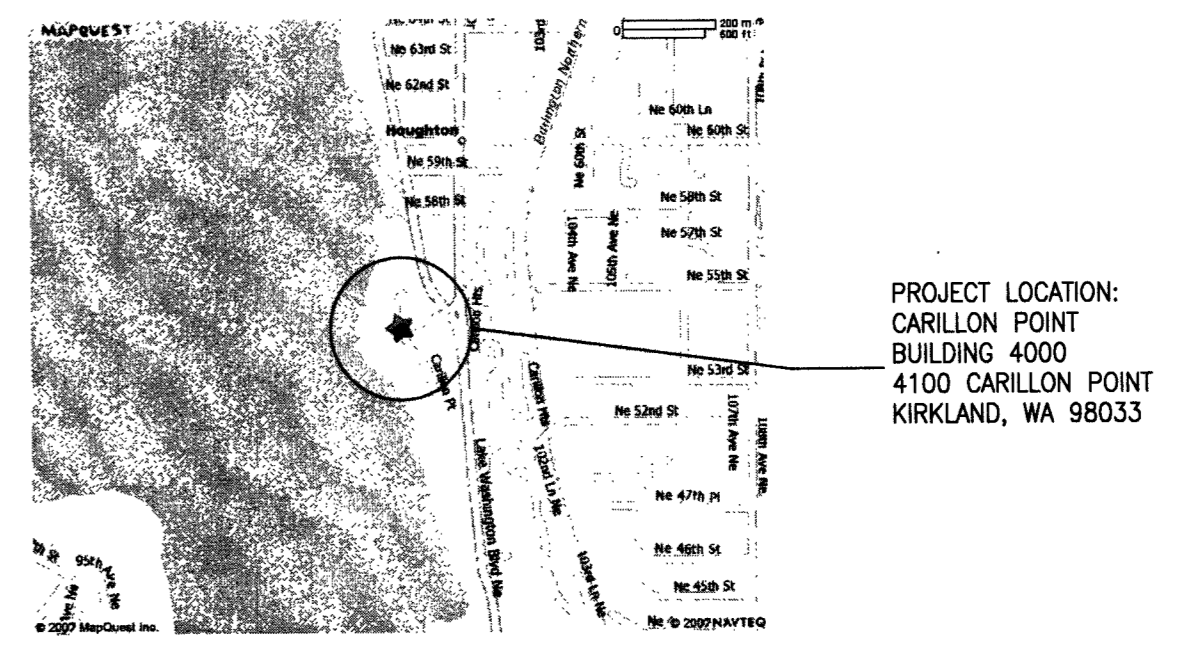
PROJECT ADDRESS:	APPLICABLE EDITIONS OF BUILDING CODES:
CARILLON POINT B4000 4100 CARILLON POINT FLOORS 3 & 4 KIRKLAND, WA 98033	BUILDING CODE 2012 INTERNATIONAL BLDG CODE (IBC), WAC 51-50 FIRE CODE 2012 INTERNATIONAL FIRE CODE (IFC), INCL. APPENDIX B&C ENERGY CODE 2012 WASHINGTON STATE ENERGY CODE (WSEC), WAC 51-11 MECHANICAL CODE 2012 INTERNATIONAL MECHANICAL CODE (IMC), WAC 51-52 ELECTRICAL CODE 2008 NATIONAL ELECTRICAL CODE (NEC) (NFPA 70) + PART 1 AND PART 3, 2009 WASHINGTON CITIES ELECTRICAL CODE WITH APPLICABLE RW 19.28 & WAC 296-46B PLUMBING CODE 2012 UNIFORM PLUMBING CODE (UPC), WAC 51-56 & 51-57 INCL. APPENDIX CHAPTERS H & L - EXCL. SECTIONS L5-L7 & "LAWN SPRINKLER HEAD" FROM TABLE 6-4 OF APPENDIX L ZONING CODE CITY OF KIRKLAND ZONING CODE ACCESSIBILITY CODE PER ICC A117.1-2009 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
CONSTRUCTION TYPE: TYPE - 1A FULLY SPRINKLERED	
ZONE: PLA-15A COMMERCIAL	
OCCUPANCY: B - BUSINESS	
TENANT SQUARE FOOTAGE: (area of work) 36,894 TOTAL USABLE SF: FLOOR 3: 18,447 SF FLOOR 4: 18,447 SF	

### Legal Description:

TAX PARCEL #: 172505-9058

POR GL 1 & 2 & BLKS F & G OF THE 2ND SUPPL PLAT OF LK WN SH LDS T2W 2ND CL SHLDS ADJ ALL LY WLY OF W MGN LK WN BLVD-LESS POR N OF S LN OF N 1076.80 FT SD GL 1 & ITS WLY PROD - LESS POR THOF S OF LN BEG AT NXN 1902.66 FT S & PLW N LN GL 1 & W MGN LK WN BLVD TH S 03-09-13 E ALG W MGN 75 FT TO TPOB OF DESC LN TH N 88-35-53 W TO INNER HARBOR LN & TERMINUS THIS LN - LESS POR CONV BY REC 6907281497 AKA LOT B KK ALT LL #LL-91-50 REC 9104302101

### Vicinity Map:



### Project Team:

#### Property Manager:

CARILLON PROPERTIES  
4100 CARILLON POINT  
KIRKLAND, WA 98033  
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kurt@carillonprop.com

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JPC ARCHITECTS

909 112th Avenue NE Suite 206  
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Carillon Point B4000  
Floors 3 & 4  
4100 Carillon Pt.  
Kirkland, WA 98033

DESIGN	JPC
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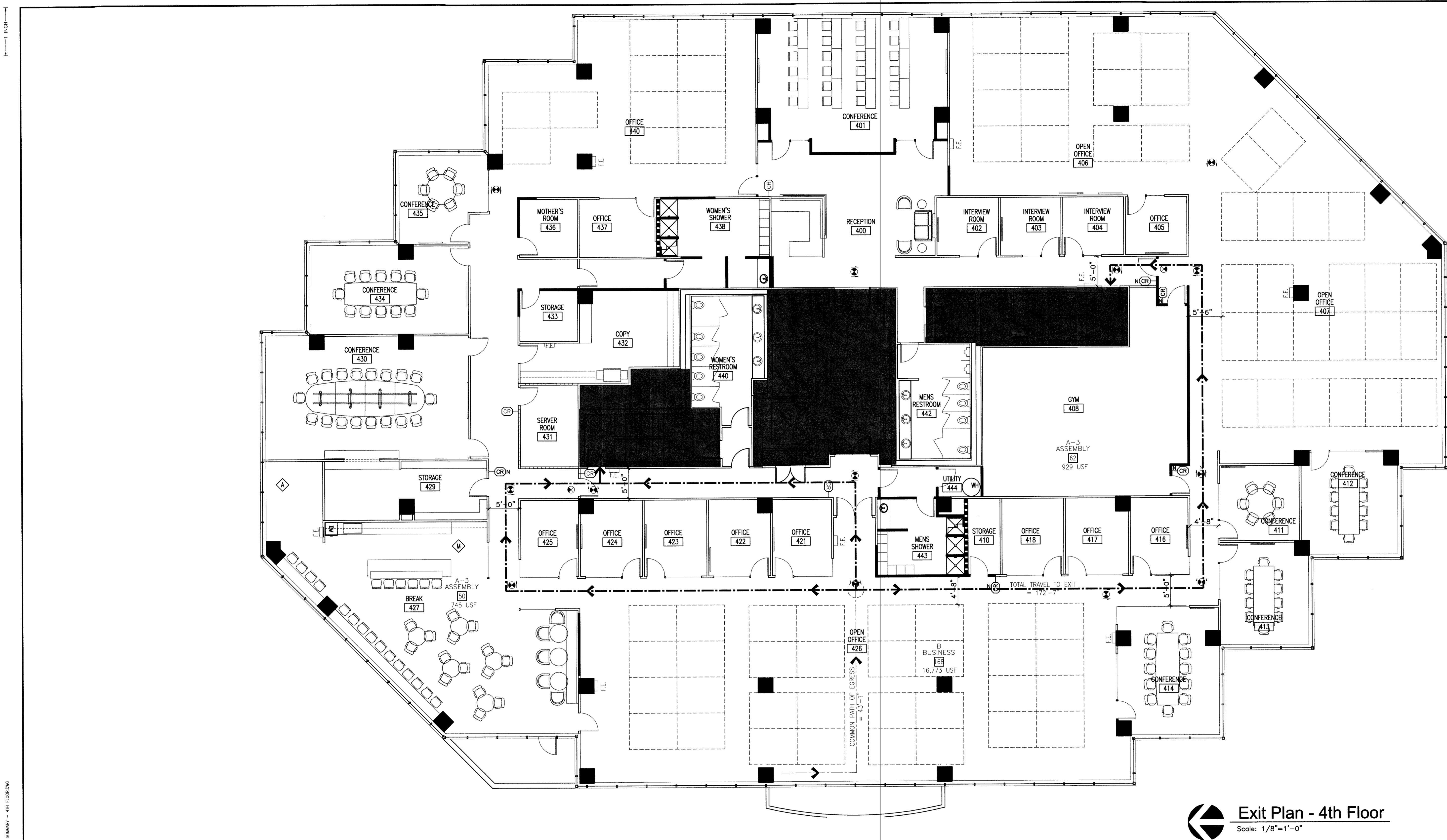
Cover Sheet & Site  
Plan

I-0.0

## Demolition Notes:

1. OBTAIN DEMOLITION PERMITS AND INCLUDE ALL COSTS OF SAME IN CONTRACT PRICE.
2. FURNISH ALL LABOR AND MATERIALS/EQUIPMENT TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED.
3. CONTRACTOR SHALL KEEP CONSTRUCTION AREA FREE OF DUST AND DEBRIS FOR THE DURATION OF CONSTRUCTION.
4. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT BEFORE PROCEEDING.
5. AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED.
6. ALL DEBRIS REMOVAL SHALL BE PERFORMED IN ACCORDANCE WITH BUILDING MANAGEMENT REQUIREMENTS AND PROCEDURES.
7. AS DIRECTED BY BUILDING MANAGEMENT, ALL DOORS, FRAMES, HARDWARE, MECHANICAL ITEMS, PLUMBING FIXTURES, LIGHT FIXTURES (INCLUDING DOWNLIGHTS AND FLUORESCENTS), AND SPECIAL EQUIPMENT SHOWN TO BE REMOVED, SHALL BE CLEAN AND FREE OF DEFECTS, PROTECTED, SAVED AND REUSED AS DIRECTED HEREIN, OR RETURNED TO BUILDING STOCK.
8. IN PARTITIONS TO BE REMOVED, REMOVE AND CAP ALL OUTLETS, SWITCHES, WIRES, THERMOSTATS, ETC., TO THEIR SOURCE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED BY HIM OR HIS SUBCONTRACTORS TO EXISTING CONSTRUCTION IN ELEVATOR LOBBY, PUBLIC CORRIDORS, RESTROOMS OR TENANT SPACES. REFINISH TO MATCH EXISTING ADJACENT FINISH, OR AS NOTED HEREIN.
10. NO EXISTING SMOKE DETECTOR, PUBLIC ADDRESS SPEAKER, FIRE ALARM BOX OR SIMILAR DEVICE, INCLUDING THE ASSOCIATED WIRING SHALL BE DAMAGED DURING DEMOLITION AND SUBSEQUENT CONSTRUCTION. RELOCATION OF SMOKE DETECTORS, PUBLIC ADDRESS SPEAKERS AND FIRE ALARM EQUIPMENT, NECESSITATED BY NEW CONSTRUCTION, SHALL BE ACCOMPLISHED AS A FIRST PRIORITY, AND PER THE PLANS. NO ACTIVE SMOKE DETECTOR SHALL BE COVERED OR OTHERWISE REMOVED OR USED FOR OTHER THAN IT'S INTENDED PURPOSE.
11. REMOVAL OF ANY EQUIPMENT, CABLING SWITCHES, AND CONDUIT PERTAINING TO DATA/COMMUNICATIONS AND TELEPHONE SHALL BE VERIFIED WITH TELEPHONE COMPANIES AND TENANT.
12. REMOVE ALL EXISTING MATERIALS WHICH WOULD CAUSE RISES OR DEPRESSIONS IN NEW FLOORING SURFACE, SUCH AS FASTENERS, OUTLET CORES, COVER PLATES, RESILIENT FLOOR COVERINGS, CARPET, CARPET PAD, FLASH PATCH, CONCRETE FILL, PLYWOOD, ETC.
13. DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DRAWINGS.
14. RATED WALLS SHALL NOT BE PENETRATED UNLESS THE RATING IS MAINTAINED.
15. DISPOSAL: ALL DEBRIS REMOVED FROM THE SITE SHALL BE RECYCLED AS MUCH AS PRACTICAL AND ALLOWED BY LAW.





**Exit Plan - 4th Floor**  
Scale: 1/8"=1'-0"

**General Notes:**

- EGRESS LIGHTING SHALL BE DESIGNED BY A LICENSED ELECTRICAL ENGINEER BASED ON FINAL FLOOR PLAN(S) AND THE MOST CURRENT (IN FORCE) ISSUE OF THE IBC, IEC AND LOCAL CODES/ORDINANCES. THE ENGINEER MAY USE THE ARCHITECTS EXIT DIAGRAM AS STARTING POINT FOR A BASIS OF DESIGN. HOWEVER, IT SHALL REMAIN THE SOLE RESPONSIBILITY OF THE ENGINEER TO COMPLETE A SCOPE OF WORK THAT ADDRESSES ALL EGRESS LIGHTING I.E.; ROOMS, SPECIAL SPACES, PATHWAYS, ETC. PER THE AFOREMENTIONED CODES. FINAL EGRESS LIGHTING QUANTITIES AND LOCATIONS SHALL BE DETERMINED BY BUILDING AND FIRE INSPECTOR'S FIELD PLACEMENT DETERMINATION
- EGRESS LIGHTS METHODOLOGIES AND MATERIALS (MANUF. TYPE/STYLE) SHALL BE APPROVED BY THE ARCHITECT AND/OR BUILDING OWNER PRIOR TO COMPLETION OF BUDGETING, PERMIT SUBMITTALS AND/OR CONSTRUCTION.
- REFER TO IBC 2012 CHAPTER 29 TABLE 2902.1 FOR PLUMBING FIXTURE CALCULATIONS, MINIMUM FIXTURES REQUIRED.
- (1) SERVICE SINK IS REQUIRED UNLESS OCCUPANT LOAD IS 15 OR FEWER.
- TOTAL 'B' OCCUPANT LOAD = 168 OCCUPANTS. ASSUME EQUAL PARTS MALE AND FEMALE = 84 MALE AND 84 FEMALE. (1) STALL IS REQUIRED PER 25 OCCUPANTS FOR THE FIRST 50 OCCUPANTS, (1) PER 50 FOR THE REMAINDER EXCEEDING 50 (PER SEX).  
TOTAL 'A-3' OCCUPANT LOAD = 112 OCCUPANTS. ASSUME EQUAL PARTS MALE AND FEMALE = 56 MALE AND 56 FEMALE.  
(1) STALL IS REQUIRED PER 125 MALES.  
(1) STALL IS REQUIRED PER 65 FEMALES.  
(4) STALLS ARE REQUIRED FOR MALES AND (4) STALLS + (2) URINALS ARE PROVIDED.  
(4) STALLS ARE REQUIRED FOR FEMALES AND (5) STALLS ARE PROVIDED.
- IN 'B', (1) LAVATORY IS REQUIRED PER 40 OCCUPANTS FOR THE FIRST 80 OCCUPANTS, (1) PER 80 FOR THE REMAINDER EXCEEDING 80. IN 'A-3', (1) LAVATORY IS REQUIRED PER 200 OCCUPANTS.  
(3) LAVATORIES ARE REQUIRED (PER SEX) AND (3) ARE PROVIDED (PER SEX).
- IN 'B', (1) DRINKING FOUNTAIN IS REQUIRED PER 100 OCCUPANTS. IN 'A-3', (1) DRINKING FOUNTAIN IS REQUIRED PER 1000 OCCUPANTS. (2) DRINKING FOUNTAINS ARE REQUIRED.

**Code Notes:**

- TOTAL USABLE AREA IN 'B': 16,773 USF  
TOTAL USABLE AREA IN 'A-3': 1,674 USF
- IN 'B': 16,773 SF/100 = 168 OCCUPANTS  
IN 'A-3': 1,674 SF/15 = 112 OCCUPANTS:  
280/2 = 140 PER EXIT.
- EGRESS EXIT WIDTH: PER IBC SECTION 1005.3.2:  
280 X 0.2 = 56" MINIMUM EXIT WIDTH
- IN 'B' AREA, MINIMUM (2) EXITS REQUIRED PER IBC 1015 & 1021. (2) EXITS HAVE BEEN PROVIDED.  
IN 'A-3' AREA, MINIMUM (2) EXITS REQUIRED PER IBC 1015, (2) EXITS HAVE BEEN PROVIDED.
- ALL CONFERENCE ROOMS UNDER 50 OCCUPANTS (OR 750 SF) TO BE CONSIDERED 'B' OCCUPANCY PER IBC 303.1.

**Legend:**

- ← "COMMON PATH OF EGRESS TRAVEL" IS LESS THAN 100'-0" AS ALLOWED FOR SPRINKLERED BUILDINGS WITH QUICK RESPONSE HEADS, PER 2012 IBC 1014.3, EXCEPTION #1.
- ← "TOTAL EXIT ACCESS TRAVEL DISTANCE" IS LESS THAN 300'-0" AS ALLOWED FOR SPRINKLERED BUILDINGS WITH QUICK RESPONSE HEADS.
- [X] DENOTES NUMBER OF OCCUPANTS

DESIGN JPC  
DRAWN AN/CB  
CHECKED AN  
NO. 13-0503



09.30.13	Progress Set
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01.09.14	ASI #4
01.29.14	ASI #5
02.20.14	Permit Revision

**Exit Plan and Codes Summary - 4th Floor**

**I-CS.4**

**JPC ARCHITECTS**

**Carillon Point B4000  
Floors 3 & 4  
4100 Carillon Pt.  
Kirkland, WA 98033**

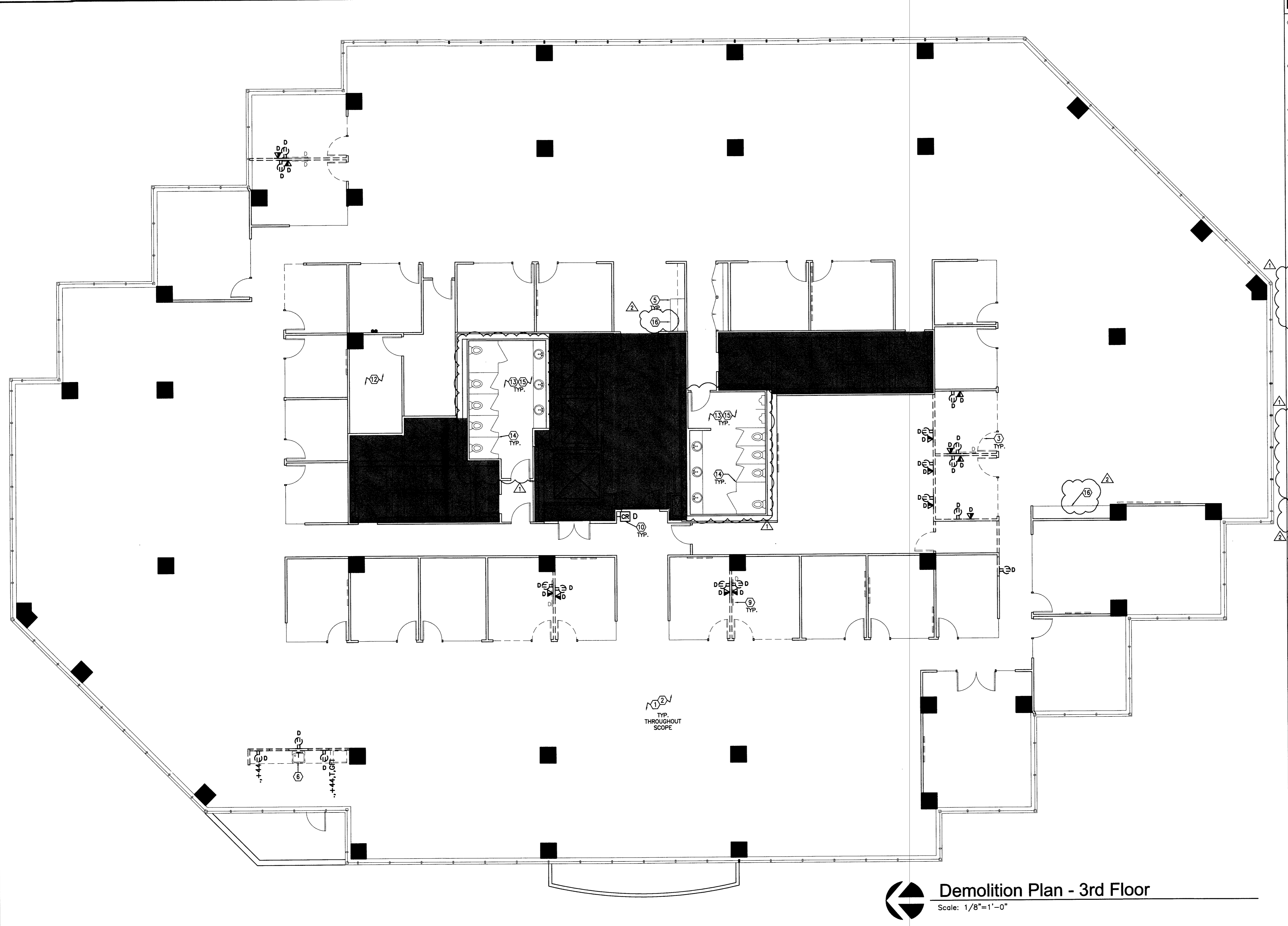
909 112th Avenue NE Suite 206  
Bellevue, WA 98004

1"=1'-0"

Demolition Plan - 3rd Floor

Scale: 1/8"=1'-0"

Author: CHRISTINE BENDA  
Date/Time: 2/19/2014 4:08 PM  
File Name: JPC\_ARCHITECTS.dwg  
Plot Title: JPC ARCHITECTS  
Plot Date: 2/19/2014 4:08 PM



**Demolition Plan - 3rd Floor**  
Scale: 1/8"=1'-0"

**Partition Legend:**

- EXISTING PARTITION/CONSTRUCTION TO REMAIN
- EXISTING PARTITION TO BE REMOVED

**Symbols Legend:**

- BUILDING STANDARD FIRE EXTINGUISHER CABINET
- DUPLEX RECEPTACLE
- DEDICATED DUPLEX RECEPTACLE
- GFI DUPLEX RECEPTACLE
- FOURPLEX RECEPTACLE
- DEDICATED FOURPLEX RECEPTACLE
- CORE DRILL
- J-BOX FOR TENANT PROVIDED SYSTEMS FURNITURE
- VOICE/DATA RECEPTACLE. CONTRACTOR TO PROVIDE MUD RING AND PULL STRING
- PROXIMITY CARD READER
- WALL TAG
- NO DESIGNATION = EXISTING
- D = DEMOLISH

**Demolition Plan Key Notes:**

- EXISTING FINISH FLOORING TO BE DEMOLISHED THROUGHOUT SCOPE OF PROJECT, UNLESS NOTED OTHERWISE. DIRECT GLUE BROADLOOM CARPET TO BE REMOVED FROM UNDER EXISTING FURNITURE WHICH WILL NOT BE MOVED. PATCH AND REPAIR AFFECTED SUBSTRATE AS REQ. FOR INSTALLATION OF NEW FLOORING AND BASE MATERIALS.
- DEMOLISH ELECTRICAL, LOW VOLTAGE AND LIFE SAFETY EQUIPMENT/DEVICES (INCLUDING LOW VOLTAGE CABLING) AS REQUIRED DUE TO DEMOLITION. AT LOCATIONS WHERE ELECTRICAL IS TO BE REMOVED, TERMINATE WIRING AT CLOSEST JUNCTION BOX OR DEMOLISH WIRING BACK TO PANEL.
- REMOVE AND SALVAGE EXISTING DOORS, FRAMES, RELITES AND HARDWARE FOR REUSE AND REINSTALLATION WHERE PRACTICAL. REFER TO FLOOR PLAN FOR ADDITIONAL INFORMATION.
- NOT USED.
- PROTECT EXISTING (TO REMAIN) MILLWORK DURING SCOPE OF DEMOLITION. RECONDITION EXISTING CABINETS, INCLUDING BUT NOT LIMITED TO ADJUSTMENT OF HINGES, SUPPLEMENT MISSING AND/OR DAMAGED COMPONENTS (SHELVES, DRAWERS, HARDWARE ETC.), REPAIR FACIAL/STRUCTURAL DAMAGE, RE-ADHERE LAMINATE AND CLEAN TO A "LIKE NEW" CONDITION.
- DEMOLISH AND DISPOSE OF EXISTING PLUMBING/FIXTURES. TERMINATE AND CAP ALL EXISTING SUPPLY/WASTE LINES BEHIND WALL AND/OR FLOOR. PATCH AND REPAIR AFFECTED AREAS, INCLUDING BUT NOT LIMITED TO WALLS, FLOORS AND CEILINGS AS REQUIRED MATCHING EXISTING FINISH MATERIALS, UNO.
- NOT USED.
- EXPOSE EXISTING COLUMNS IN OPEN OFFICE AREAS (ENCLOSED ROOMS TO REMAIN WRAPPED). REFER TO FLOOR PLAN.
- KEEP EXISTING COLUMNS FINISHED/WRAPPED AS-IS
- REMOVE AND SALVAGE DEMOLISH ALL EXISTING WHITE BOARDS. FOR REINSTALLATION-COORDINATE NEW LOCATIONS WITH TENANT. ANY DAMAGED WHITE BOARDS TO BE DISCARDED.
- REMOVE EXISTING B/S CARD READERS AND RETURN TO BUILDING STOCK. REFER TO FLOOR PLAN FOR NEW CARD READER LOCATIONS. AT ANY LOCATIONS WHERE AN EXISTING CARD READER IS GETTING REPLACED WITH A NEW DEVICE IN SAME LOCATION, COORDINATE ANY RE-USE OF WALL OPENING, WIRING, ETC. AS APPLICABLE FOR NEW DEVICE.
- REMOVE EXISTING RECESSED FE CABINET AND REINSTALL AT NEW LOCATION.
- EXISTING FLOORING TO REMAIN AT THIS LOCATION.
- EXISTING FINISHED FLOORING AND WALL TILE TO BE DEMOLISHED IN EXISTING RESTROOMS. PATCH AND REPAIR AFFECTED SUBSTRATE AS REQ. FOR INSTALLATION OF NEW FLOOR AND WALL TILES.
- EXISTING TOILET PARTITIONS TO BE REUSED. REPAIR AND REALIGN PARTITIONS AND REPLACE ANY DAMAGED HARDWARE. APPLY ELECTROSTATIC PAINT-P3.
- EXISTING COUNTERTOPS & TOILET ACCESSORIES TO REMAIN. DEMOLISH EXISTING MIRRORS.
- DEMOLISH EXISTING COUNTERTOP & BACKSPLASH AT SATELLITE COPY/PRINT 300 & 308 AND REPLACE WITH NEW PLAM (PL1) - REFER TO FINISH PLAN FOR ADDITIONAL INFORMATION.

**Demolition Notes:**

- OBTAIN DEMOLITION PERMITS AND INCLUDE ALL COSTS OF SAME IN CONTRACT PRICE.
- FURNISH ALL LABOR AND MATERIALS/EQUIPMENT TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED.
- CONTRACTOR SHALL KEEP CONSTRUCTION AREA FREE OF DUST AND DEBRIS FOR THE DURATION OF CONSTRUCTION.
- IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT BEFORE PROCEEDING.
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- IN PARTITIONS TO BE REMOVED, REMOVE AND CAP ALL OUTLETS, SWITCHES, WIRES, THERMOSTATS, ETC., TO THEIR SOURCE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED BY HIM OR HIS SUBCONTRACTORS TO EXISTING CONSTRUCTION IN ELEVATOR LOBBY, PUBLIC CORRIDORS, RESTROOMS OR TENANT SPACES. REFINISH TO MATCH EXISTING ADJACENT FINISH, OR AS NOTED HEREIN.
- NO EXISTING SMOKE DETECTOR, PUBLIC ADDRESS SPEAKER, FIRE ALARM BOX OR SIMILAR DEVICE, INCLUDING THE ASSOCIATED WIRING SHALL BE DAMAGED DURING DEMOLITION AND SUBSEQUENT CONSTRUCTION. RELOCATION OF SMOKE DETECTORS, PUBLIC ADDRESS SPEAKERS AND FIRE ALARM EQUIPMENT, NECESSITATED BY NEW CONSTRUCTION, SHALL BE ACCOMPLISHED AS A FIRST PRIORITY, AND PER THE PLANS. NO ACTIVE SMOKE DETECTOR SHALL BE COVERED OR OTHERWISE REMOVED OR USED FOR OTHER THAN IT'S INTENDED PURPOSE.
- REMOVAL OF ANY EQUIPMENT, CABLING SWITCHES, AND CONDUIT PERTAINING TO DATA/COMMUNICATIONS AND TELEPHONE SHALL BE VERIFIED WITH TELEPHONE COMPANIES AND TENANT.
- REMOVE ALL EXISTING MATERIALS WHICH WOULD CAUSE RISES OR DEPRESSIONS IN NEW FLOORING SURFACE, SUCH AS FASTENERS, OUTLET CORES, COVER PLATES, RESILIENT FLOOR COVERINGS, CARPET, CARPET PAD, FLASH PATCH, CONCRETE FILL, PLYWOOD, ETC.
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JPC ARCHITECTS

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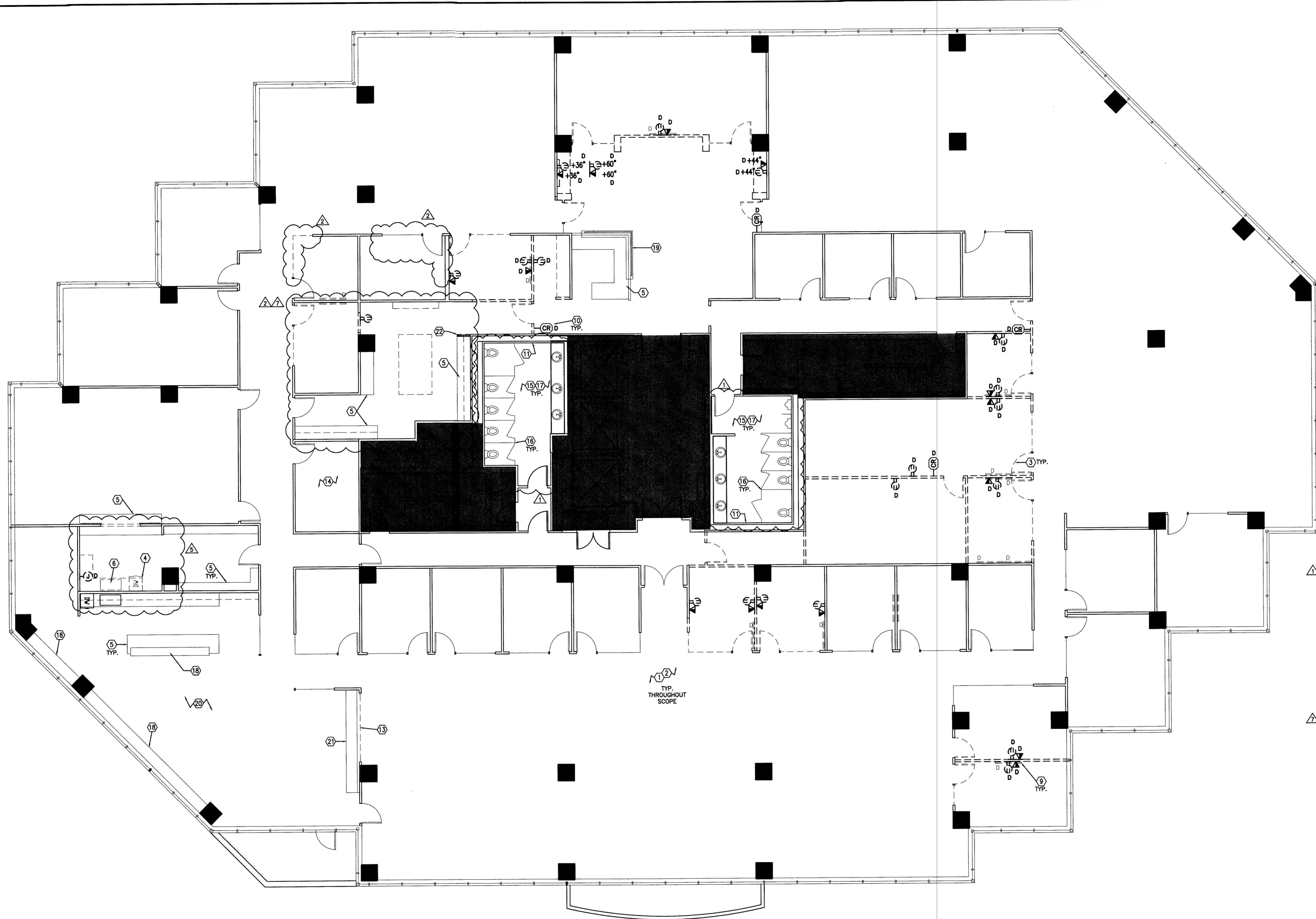
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Demolition Plan - 3rd  
Floor

I-1.3



## Demolition Plan - 4th Floor

Scale: 1/8"=1'-0"

### Partition Legend:

- EXISTING PARTITION/CONSTRUCTION TO REMAIN
- EXISTING PARTITION TO BE REMOVED

### Symbols Legend:

- BUILDING STANDARD FIRE EXTINGUISHER CABINET
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- DEMOLISH ELECTRICAL, LOW VOLTAGE AND LIFE SAFETY EQUIPMENT/DEVICES (INCLUDING LOW VOLTAGE CABLING) AS REQUIRED DUE TO DEMOLITION. AT LOCATIONS WHERE ELECTRICAL IS TO BE REMOVED, TERMINATE WIRING AT CLOSEST JUNCTION BOX OR DEMOLISH WIRING BACK TO PANEL.
- REMOVE AND SALVAGE EXISTING DOORS, FRAMES, RELITES AND HARDWARE FOR REUSE AND REINSTALLATION WHERE PRACTICAL. REFER TO FLOOR PLAN FOR ADDITIONAL INFORMATION.
- REMOVE AND SALVAGE EXISTING DISHWASHER FOR REINSTALLATION ON FLOOR 3 SATELLITE COFFEE #325.
- PROTECT EXISTING (TO REMAIN) MILLWORK DURING SCOPE OF DEMOLITION. RECONDITION EXISTING CABINETS, INCLUDING BUT NOT LIMITED TO ADJUSTMENT OF HINGES, SUPPLEMENT MISSING AND/OR DAMAGED COMPONENTS (SHELVES, DRAWERS, HARDWARE ETC.), REPAIR FACIAL/STRUCTURAL DAMAGE, RE-ADHERE LAMINATE AND CLEAN TO A "LIKE NEW" CONDITION.
- DEMOLISH EXISTING PLUMBING. SALVAGE SINK, FAUCET & DISPOSAL FOR INSTALLATION ON FLOOR 3 SATELLITE COFFEE #325. TERMINATE AND CAP ALL EXISTING SUPPLY/WASTE LINES BEHIND WALL AND/OR FLOOR. PATCH AND REPAIR AFFECTED AREAS, INCLUDING BUT NOT LIMITED TO WALLS, FLOORS AND CEILINGS AS REQUIRED MATCHING EXISTING FINISH MATERIALS, UNO.
- NOT USED
- EXPOSE EXISTING COLUMNS IN OPEN OFFICE AREAS (ENCLOSED ROOMS TO REMAIN WRAPPED) - REFER TO FLOOR PLAN. KEEP EXISTING COLUMNS FINISHED/WAPPED AS-IS
- REMOVE AND SALVAGE EXISTING WHITE BOARDS FOR REINSTALLATION. COORDINATE NEW LOCATIONS WITH TENANT. ANY DAMAGED WHITE BOARDS TO BE DISCARDED.
- REMOVE EXISTING B/S CARD READERS AND RETURN TO BUILDING STOCK. REFER TO FLOOR PLAN FOR NEW CARD READER LOCATIONS. AT ANY LOCATIONS WHERE AN EXISTING CARD READER IS GETTING REPLACED WITH A NEW DEVICE IN SAME LOCATION, COORDINATE ANY RE-USE OF WALL OPENING, WIRING, ETC. AS APPLICABLE FOR NEW DEVICE.
- REMOVE AND SALVAGE EXISTING SEMI-RECESSED PAPER-TOWEL & WASTE RECEPTACLE FOR REINSTALLATION. REFER TO ELEVATION 7&8/1-8.1 FOR NEW LOCATIONS.
- REMOVE EXISTING RECESSED FE CABINET AND REINSTALL AT NEW LOCATION.
- REMOVE EXISTING GLASS PANELS AND PREP TO ENCLOSE - SEE FLOOR PLAN FOR ADDITIONAL INFORMATION.
- EXISTING FLOORING TO REMAIN IN THIS LOCATION.
- EXISTING FINISHED FLOORING AND WALL TILE TO BE DEMOLISHED IN EXISTING RESTROOMS. PATCH AND REPAIR AFFECTED SUBSTRATE AS REQD FOR INSTALLATION OF NEW FLOOR AND WALL TILES.
- EXISTING TOILET PARTITIONS TO BE REUSED. REPAIR AND REALIGN PARTITIONS AND REPLACE ANY DAMAGED HARDWARE. APPLY ELECTROSTATIC PAINT-P3.
- EXISTING COUNTERTOPS & TOILET ACCESSORIES TO REMAIN. DEMOLISH EXISTING MIRRORS.
- EXISTING SOLID SURFACE BAR HEIGHT COUNTERS IN BREAK 427 TO BE REPLACED - REFER TO SHEET 1-6.4 FOR ADDITIONAL INFORMATION.
- REMOVE EXISTING RESIN PANELS FROM FRONT OF RECEPTION DESK. RETAIN STAND-OFF HARDWARE FOR RE-USE WITH NEW PANELS. REFER TO FINISH PLAN FOR ADDITIONAL INFORMATION.
- REMOVE EXISTING WOOD WALL BASE IN BREAK 427 AND PREP FOR NEW RUBBER WALL BASE. REFER TO FINISH PLAN FOR ADDITIONAL INFORMATION.
- DEMOLISH EXISTING UPHOLSTERED BENCH-SEAT & -BACK. PROTECT EXISTING MILLWORK DURING SCOPE OF DEMOLITION/CONSTRUCTION. PREP FOR NEW UPHOLSTERED SEAT & BACK. REFER TO FINISH PLAN FOR ADDITIONAL INFORMATION.
- DEMOLISH PORTION OF EXISTING CASEWORK TO REMAIN DUE TO NEW PARTITION LOCATION. PATCH & REPAIR EXISTING CASEWORK.

JPC ARCHITECTS

Carillon Point B4000  
Floors 3 & 4  
4100 Carillon Pt.  
Kirkland, WA 98033

DESIGN JPC  
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NO. 13-0503



09.30.13	Progress Set
10.09.13	Permit / Bid Issue
10.22.13	ASI #1
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12.20.13	ASI #3
01.09.14	ASI #4
01.29.14	ASI #5
02.20.14	Permit Revision

Demolition Plan - 4th  
Floor

I-1.4





Scale:  $1/8"=1'-0"$

EXISTING PARTITION/CONSTRUCTION TO REMAIN  
NEW GRID HEIGHT PARTITION. REFER TO DETAIL  
3/1-9.1.

EXTENDED PARTITION TO FULL-HEIGHT. REFER TO  
DETAIL 6/1-9.1

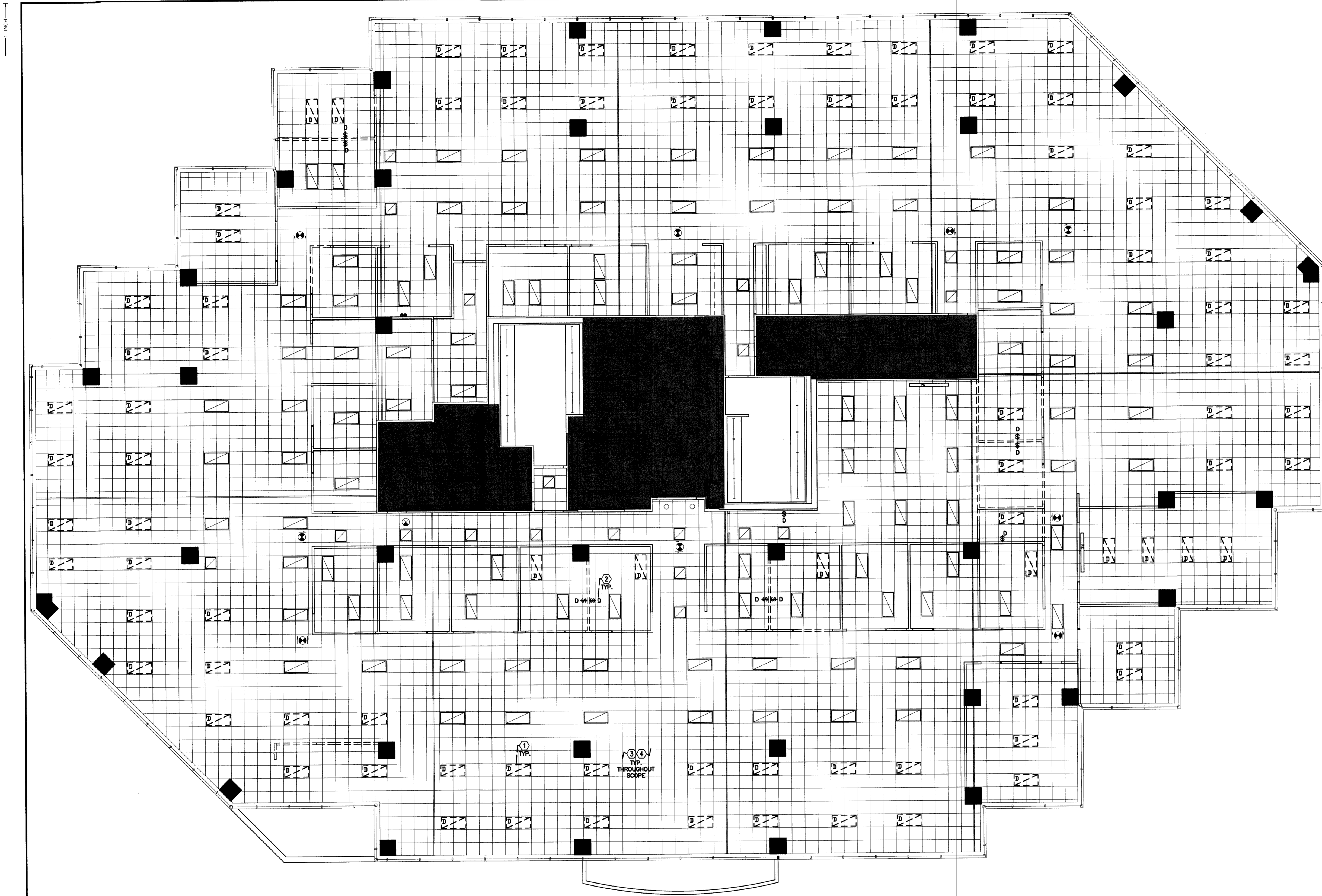
NEW GRID HEIGHT PLUMBING PARTITION - REFER TO  
DETAIL 5/1-9.1

NO DESIGNATION = EXISTING  
N = NEW &/OR RELOCATED (COORDINATE RELOCATED  
ITEMS W/ARCHITECT)

35	EXISTING TOILETS AND URINALS TO REMAIN - INSTALL NEW B/S AUTO-FLUSH MECHANISM: TECHNICAL CONCEPTS #402059(TOILETS) & #402060(URINALS) METAL AUTOCLAMP AUTOFLUSHER-CHROME.
36	EXISTING SINKS TO REMAIN (REPLACE WITH NEW IF DAMAGED). INSTALL NEW B/S HANDS-FREE FAUCET & SOAP DISPENSER: TECHNICAL CONCEPTS #500572-SST VERONA 4" MTD-CHROME. TECHNICAL CONCEPTS #750339 ONE-SHOT DECK-MTDR DISP-CHROME.

- 1) CISCO VTC SYSTEM/TELE-PRESENCE ROOMS IN CONFERENCE #401, #414 AND #434: PROVIDE CORE DRILLS FOR POWER, DATA & AV UNDER TABLE WITH PATHWAY (1-1/2" CONDUIT) BETWEEN TABLE & MONITOR WALL. POKE-THROUGH DEVICE TO BE FLUSH-FLOOR WITH OUTLETS FOR ELECTRICAL AND V/D & AV JACKS, WIREMOLD 6AT FLUSH-FLOOR BOX OR APPROVED EQUAL. VERIFY EXACT PLACEMENT & SIZES WITH AV CONSULTANT AND TENANT PRIOR TO DRILLING. REUSE EXISTING WHERE PRACTICAL.
- 2) REVISE MECHANICAL AS NECESSARY TO PROVIDE APPROPRIATE VENTING NEW LOOKER ROOMS AND GYM - FULL AIR EXCHANGE EVERY 2-4 MINUTES, MINIMUM REQUIREMENT.
- 3) TOUCH-UP ALL EXISTING CORE DOORS TO PROVIDE A LIKE-NEW APPEARANCE.
- 4) PROVIDE FULL-LENGTH MIRROR ON NORTH & SOUTH WALLS OF NEW GYM.
- 5) PROVIDE WATER LINE FOR (3)COFFEE MAKERS, (1)ESPRESSO MAKER & REFRIGERATOR IN BREAK #427. PROVIDE DRAINS AS REQUIRED. REUSE EXISTING WHERE PRACTICAL.
- 6) PROVIDE BACKING, POWER, DATA & AV IN WALL FOR FLAT-PANEL DISPLAY. PROVIDE OUTLETS AT STANDARD-HEIGHT IN WALL BELOW, AND CORE DRILL FOR DATA & AV PATHWAY IN WALL BELOW. PROVIDE PATHWAY CONDUIT (1-1/2") BETWEEN DISPLAY AND UNDER TABLE OUTLET. POKE-THROUGH DEVICE TO BE FLUSH FLOOR WITH OUTLETS FOR ELECTRICAL AND V/D & AV JACKS, WIREMOLD 6AT FLUSH FLOOR BOX OR APPROVED EQUAL (IF SHOWN). VERIFY EXACT PLACEMENT & SIZES WITH AV CONSULTANT AND COORDINATE WITH TENANT'S FURNITURE PRIOR TO DRILLING. REUSE EXISTING WHERE PRACTICAL.
- 7) PROVIDE CORE DRILLS FOR POWER, POWER, DATA & AV UNDER TABLE WITH PATHWAY (1-1/2" CONDUIT) BETWEEN TABLE AND CEILING-MOUNTED PROJECTOR. POKE-THROUGH DEVICE TO BE FLUSH-FLOOR WITH OUTLETS FOR ELECTRICAL AND V/D & AV JACKS. WIREMOLD 6AT FLUSH-FLOOR BOX OR APPROVED EQUAL. VERIFY EXACT PLACEMENT & MONUMENT FOR COORDINATION WITH TENANT'S FURNITURE PRIOR TO DRILLING. REUSE EXISTING WHERE PRACTICAL.
- 8) REPLACE CURRENT COMMERCIAL DOUBLE-DOOR STAINLESS STEEL REFRIGERATOR WITH LIKE MODEL - PROVIDE SUBMITAL.
- 9) REPLACE EXISTING SOLID SURFACE BAR COUNTER, AND REPLACE BAR FRONT. REFER TO ELEV 151/-8.2 FOR MORE INFORMATION.
- 10) INFILL EXISTING PARTITION TO MATCH ADJACENT CONSTRUCTION.
- 11) CONTRACTOR TO PROVIDE AND INSTALL (12) NEW WHITE BOARDS WITH PEN TRAY TO MATCH EXISTING. LOCATIONS TBD. ALL EXISTING WHITE BOARDS TO REMAIN OR BE RELOCATED DUE TO DEMOLITION.
- 12) FURR OUT CWB TO PRESERVE ADJACENT EXISTING DECORATIVE WALL TREATMENT.
- 13) EXPOSE EXISTING COLUMNS IN OPEN OFFICE. ENCLOSED ROOMS TO REMAIN WRAPPED.
- 14) FREE-STANDING (ELECTRIFIED WORKSTATIONS) TO REMAIN. VERIFY ALL EXISTING ELECTRICAL/LOW-VOLTAGE CONNECTIONS TO INSURE A FULLY-FUNCTIONING AND OPERATIONAL WORKSTATION SYSTEM. NEW CONNECTIONS BY DESIGN-BUILD CONTRACTORS.
- 15) WORKSTATION COMMUNICATIONS/POWER PACKAGES TO SUPPLY EACH WORKSTATION WITH VOICE/DATA CONNECTIVITY (CABLING/TERMINATIONS) AND (2) DUPLEXES. VOICE/DATA & POWER CABLING TO BE COORDINATED WITH WORKSTATION MANUFACTURER'S RECOMMENDATIONS AND LAYOUT. VERIFY EXISTING AND ADD NEW AS REQUIRED.
- 16) APPLY 3M DUSTED CRYSTAL TO ALL INTERIOR GLASS PANELS LEAVING 24" CLEAR GLASS AT TOP & BOTTOM OF PANELS.
- 17) PROVIDE AND INSTALL NEW 72"x96-1/2"x18 1/4" WOOD BENCH #77766 (LOOKERS.COM). FINISH: DARK WOOD.
- 18) INSTALL CABINET LOCKS ON (1) BANK OF EXISTING UPPER CABINETS.
- 19) COOLING REQUIREMENTS: APPROX. 7-TONS EXISTING TO BE RELOCATED AS DIRECTED BY TENANT, WITH AN ADDITIONAL 2-TONS TO BE PROVIDED. SERVER ROOM #431 REQUIRES 5-TONS DEDICATED COOLING. 5-TON UNIT FOR TRAINING ROOM #309 TO REMAIN AS-IS. SUPPLEMENT CONF. RM #401 AND OTHER AREAS AS REQUIRED.
- 20) ANY EXISTING 208-30A OUTLETS ARE TO BE CONVERTED TO 208L6-30.
- 21) SERVER ROOM #431: ALL POWER TO BE DEDICATED. TENANT REQUIRES (6) 208L6-30 DROPS. USE "SO" FLEX CORD DROPPED FROM ABOVE THE TBAR. REVIEW DETAILED REQUIREMENTS WITH TENANT.
- 22) NEW TENANT-PROVIDED CARD READERS ON ALL EGRESS DOORS, IDF ROOM #334, SERVER ROOM #431, AND AS INDICATED ON PLAN. INSTALL CARD READER AT 34" AFF - FAIL SAFE AT EGRESS DOORS: DOOR LOCKS MUST AUTOMATICALLY RELEASE WITH LOSS OF POWER TO THE DOOR LOCK OR RELEASING DEVICE. DOORS MUST REMAIN UNLOCKED UNTIL THE POWER SUPPLY IS RESTORED. DOOR LOCKS MUST AUTOMATICALLY RELEASE WITH LOSS OF PRIMARY POWER TO THE FIRE ALARM CONTROL PANEL. AN APPROVED SMOKE DETECTOR SHALL BE INSTALLED WITHIN THE ELEVATOR LOBBY IN ACCORDANCE WITH THE MANUFACTURER'S LISTING INSTRUCTIONS AND SHALL INITIATE A GENERAL FIRE ALARM WHEN ACTIVATED. DOOR LOCKS MUST AUTOMATICALLY RELEASE ON ACTIVATION OF THE BUILDING ALARM SYSTEM (SPRINKLER HEAD, SMOKE/HEAT DETECTOR OR PULL STATION ACTIVATION). DOORS MUST REMAIN UNLOCKED UNTIL THE FIRE ALARM SYSTEM IS MANUALLY RESET. NON-EGRESS DOORS WITH CARD READER TO BE FIRE-RESISTANT. GO TO PROVIDE AND INSTALL POWER & ELECTRONIC LOCKING HARDWARE AS REQUIRED.
- 23) INSTALL 4XB FR PLYWOOD (OR REUSE EXISTING AS POSSIBLE) ON WALLS IN SERVER ROOM #431 - EXACT LOCATION TO BE VERIFIED BY TENANT.
- 24) NO WATER LINES ABOVE CEILING IN IDF ROOM #334. ANY EXISTING WATER LINES OTHER THAN REQUIRED FOR LIFE SAFETY, ARE TO BE REDIRECTED - CONTRACTOR TO VERIFY IN FIELD.
- 25) PROVIDE WATER LINE FOR WATER DISPENSER IN GYM #409.
- 26) TENANT REQUIRES (3) DATA DROPS AND (1) 120V DUPLEX AT THIS LOCATION ALIGNED WITH NEW CORE DRILL - VERIFY EXISTING IN FIELD AND PROVIDE NEW AS REQUIRED.
- 27) EXISTING GRID-HEIGHT PARTITIONS IN SERVER ROOM #431 TO BE EXTENDED TO STRUCTURE. MECHANICAL RETURNS ARE TO BE INSTALLED BEHIND THE SERVER RACKS. MECHANICAL PLANS TO BE REVIEWED AND APPROVED BY TENANT AND PROPERTY MANAGER PRIOR TO CONSTRUCTION.
- 28) REPAIR ALL DAMAGED GASKETS AT EXISTING RELIGHT LOCATIONS.
- 29) IN ALL PRIVATE OFFICES, PROVIDE BLOCKING FOR FURNITURE OVERHEADS. REFER TO FURNITURE DESIGN-BUILD DOCUMENTS FOR ADDITIONAL INFORMATION.
- 30) PROVIDE A RACEWAY AROUND PERIMETER OF ROOM FOR POWER, DATA AND COAX TO GYM EQUIPMENT. PROVIDE QTY OF (15) POWER, DATA AND COAX OUTLETS FOR EQUIPMENT. VERIFY REQUIREMENTS AND LAYOUT OF EQUIPMENT WITH TENANT.
- 31) TENANT REQUIRES (2)GFI DUPLEXES @+43" AT VANITY IN WOMEN'S RESTROOM #439 AND MEN'S RESTROOM #442.
- 32) NOT REQUESTED
- 33) TENANT REQUESTS CONDUIT BETWEEN 3RD FLOOR IDF ROOM #334 AND 4TH FLOOR SERVER ROOM #431. USE EXISTING AS PRACTICAL. VERIFY CONDUIT SIZE AND EXACT LOCATION WITH TENANT.
- 34) PROVIDE 2" CONDUIT BETWEEN MPO AND SERVER ROOM #431 FOR COMCAST CABLE.

### I-3.4



Demolition Reflected Ceiling Plan - 3rd Floor

Scale: 1/8"=1'-0"

Key Notes:

- 1 DEMOLISH ALL EXISTING FLUORESCENT PARABOLIC TROFFERS - TO BE REPLACED WITH NEW BUILDING STANDARD FLUORESCENT FIXTURES. REFER TO REFLECTED CEILING PLAN FOR ADDITIONAL INFORMATION.
- 2 DEMOLISH EXISTING LIGHT SWITCHES AS REQUIRED DUE TO DEMOLITION. REFER TO REFLECTED CEILING PLAN FOR NEW SWITCH LOCATIONS.
- 3 EXISTING BUILDING STANDARD SUSPENDED CEILING GRID AND ACOUSTICAL TILE SYSTEM TO REMAIN. REPLACE ALL DAMAGED AND/OR STAINED TILE.
- 4 CONTRACTOR TO VERIFY CODE COMPLIANCE OF ALL EXISTING ACOUSTICAL CEILING GRID SYSTEMS & LIGHTING FIXTURES AND ASSOCIATED BRACING RESTRAINTS. SYSTEMS FOUND NOT IN COMPLIANCE SHALL BE MODIFIED AND/OR NEW PROVIDED, AS REQUIRED BY CURRENT BUILDING CODES. REFER TO DETAILS 13 - 16/1-9.1.

NO DESIGNATION = EXISTING  
D = DEMOLISH

JPC ARCHITECTS

909 112th Avenue NE Suite 206  
Bellevue, WA 98004

Carillon Point B4000  
Floors 3 & 4  
4100 Carillon Pt.  
Kirkland, WA 98033

DESIGN JPC  
DRAWN AN/CB  
CHECKED AN  
NO. 13-0503



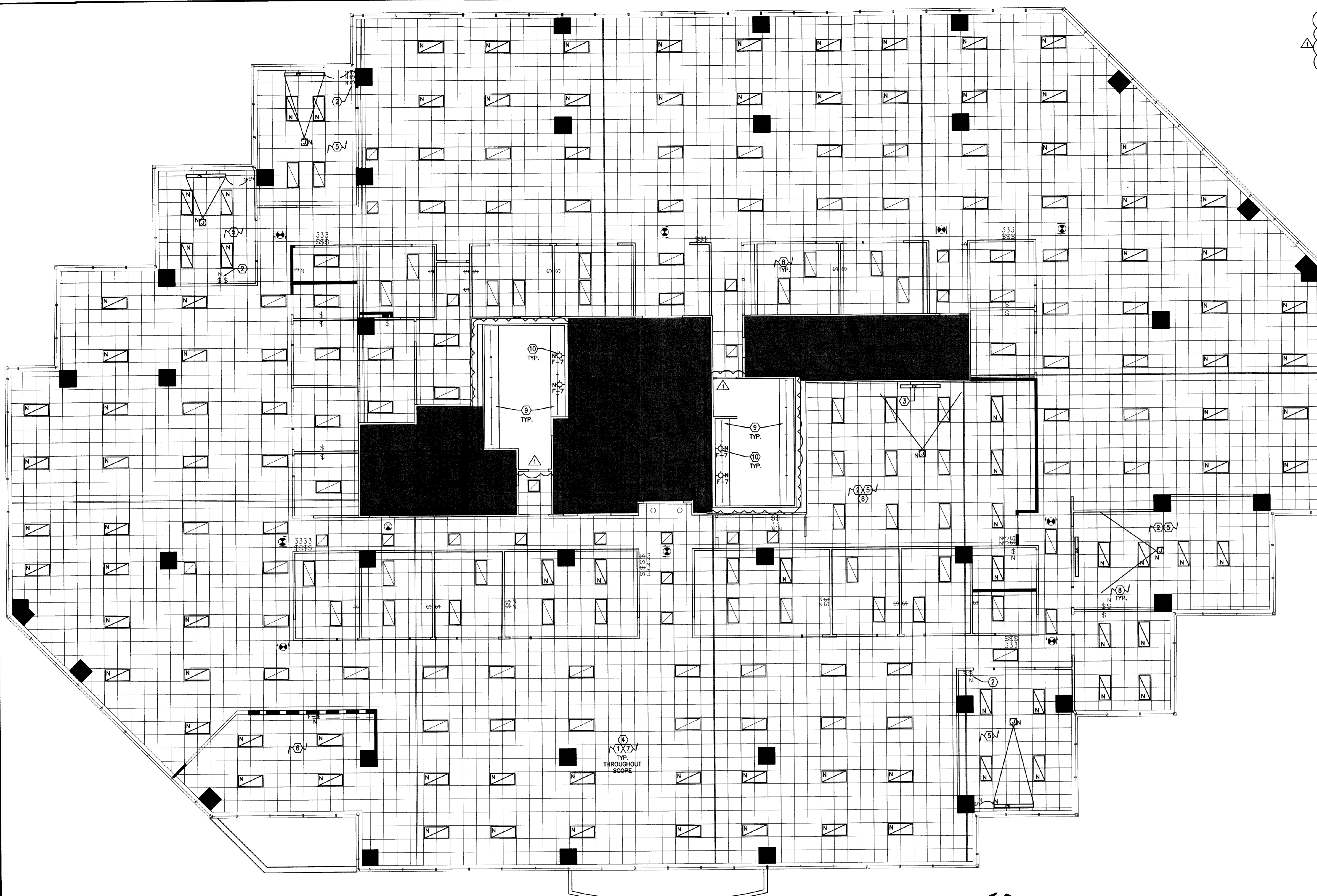
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10.09.13	Permit / Bid Issue
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01.29.14	ASI #5
02.20.14	Permit Revision

Demo Reflected  
Ceiling Plan - 3rd  
Floor

I-4.3.1

1 INCH

Author: CHRISTINE BENDA  
Date/Time: 2/19/2014 4:27 PM  
File Name: R-C 3D01B  
Draw: L:\313\13-000\313-000\W\MASTERS\4-3 REFLECTED CEILING PLAN - 3RD FLOOR.DWG  
XRef: ... \ATB.dwg



**Reflected Ceiling Plan - 3rd Floor**  
Scale: 1/8"=1'-0"

**Reflected Ceiling Notes:**

- COORDINATE THE WORK OF ALL TRADES INVOLVED IN THE CEILING WORK TO ENSURE CLEARANCES FOR FIXTURES, DUCTS, PIPING, CEILING SUSPENSION SYSTEM, ETC., NECESSARY TO MAINTAIN THE FINISHED CEILING HEIGHTS INDICATED ON ARCHITECT'S DRAWINGS.
- PERIMETER CEILING ANGLE, WHERE OCCURS, SHALL BE INSTALLED TIGHT TO VERTICAL SURFACES, FREE FROM CURVES, BREAKS OR OTHER IRREGULARITIES AND PAINTED TO MATCH CEILING FINISH.
- FURNISH AND INSTALL ALL ASSOCIATED TRIM AND SEISMIC BRACING AS REQUIRED.
- LIGHT FIXTURES, NEW SPRINKLERS AND OTHER CEILING ELEMENTS SHALL BE CENTERED IN THE 2'X2' SECTION OF INDIVIDUAL CEILING TILES U.N.O. (EXIST. SPRINKLERS TO REMAIN UNLESS CONFLICT WITH NEW ELEMENTS).
- PROVIDE CEILING ACCESS AS REQUIRED FOR EQUIPMENT AND SYSTEM MAINTENANCE, AND MATCH ADJACENT CEILING FINISH U.N.O.
- ALL SOFFITS AND CEILING HEIGHTS ARE DIMENSIONED FROM TOP OF FINISHED FLOOR TO BOTTOM OF FINISHED GYPSUM BOARD OR CEILING TILE AND SHALL ALLOW FOR THICKNESS OF ALL FLOOR FINISHES.
- THE REFLECTED CEILING PLAN INDICATES THE LOCATION OF CEILING HEIGHTS, LIGHT TYPES, LIGHT FIXTURES, AND ASSOCIATED ITEMS.
- ALL SPECIFIC INFORMATION CONCERNING INSTALLATION FOR VARIOUS ABOVE-CEILING ELEMENTS ARE TO BE DESIGN BUILD, DOCUMENTATION BY OTHERS - PERMITTED SEPARATELY.
- NOTIFY ARCHITECT OF ANY CONFLICTS OF LIGHT FIXTURE LOCATIONS WITH MAIN RUNNERS, DUCTS, STRUCTURES, HVAC, AND/OR (E)CONDUIT, PRIOR TO FRAMING FOR LIGHTS. ANY DISCREPANCIES BETWEEN ARCHITECT'S CEILING GRID LOCATION & ACTUAL FIELD CONDITIONS ARE TO BE CLARIFIED WITH THE ARCHITECT PRIOR TO FRAMING.
- SUBMIT GRILLE, THERMOSTAT, AND OTHER FIXTURE AND ELEMENT LAYOUTS TO THE ARCHITECT FOR REVIEW AT LEAST 2 WEEKS PRIOR TO INSTALLATION.
- VERIFY FIELD CONDITIONS AND LOCATIONS OF ALL PLUMBING, MECHANICAL DUCTS, STRUCTURAL ELEMENTS AND ALL OTHER RELATED ITEMS. INSTALL NEW PLUMBING, MECHANICAL, FANS, DUCTS, CONDUITS, AND OTHER RELATED ITEMS SO AS TO NOT CONFLICT WITH ANY/ALL FIELD CONDITIONS INCLUDING LUMINAIRES.
- INSTALL NEW LIGHT FIXTURES WITH PROTECTIVE FILM OR SIMILAR COVER OVER LOUVER, LENS, BAFFLE, ETC. TO AVOID FIXTURE SOILING OR DAMAGE. FIXTURES SHALL BE MAINTAINED CLEAN AND AS NEW. ALL LAMPS SHALL BE NEW AT PROJECT COMPLETION - RELAMP EXISTING FIXTURES.
- CONTRACTOR TO VERIFY CODE COMPLIANCE OF EXISTING ACOUSTICAL CEILING GRID SYSTEMS AND ASSOCIATED SEISMIC BRACING RESTRAINTS. SYSTEMS FOUND NOT IN COMPLIANCE SHALL BE MODIFIED AND/OR NEW PROVIDED AS REQUIRED BY CURRENT BUILDING CODES (INCLUDING, BUT NOT LIMITED TO: CURRENT IBC WALL MOLDING (2" ANGLE) AND SEISMIC SEPARATION JOINTS).
- CONTRACTOR TO VERIFY CODE COMPLIANCE OF ALL EXISTING LIGHTING FIXTURES AND ASSOCIATED SEISMIC BRACING RESTRAINTS. FIXTURES FOUND NOT IN COMPLIANCE SHALL BE MODIFIED AND/OR NEW PROVIDED AS REQUIRED BY CURRENT BUILDING AND/OR ENERGY COMPLIANCE CODES.
- ALL EXISTING LIGHTS AND EGRESS LIGHTING LOCATIONS SHALL BE DETERMINED BY BUILDING AND FIRE INSPECTOR'S FIELD PLACEMENT DETERMINATION.
- ALL SMOKE DAMPERS SHALL BE INSTALLED IN ACCORDANCE WITH IMC/IBC OR SUPERCEDING CODE. ALL FIRE DAMPERS SHALL BE INSTALLED IN ACCORDANCE WITH IMC/IBC OR SUPERCEDING CODE.
- EGRESS LIGHTING SHALL BE DESIGNED BY A LICENSED ELECTRICAL ENGINEER BASED ON FINAL FLOOR PLAN(S) AND THE MOST CURRENT (IN FORCE) ISSUE OF THE IBC, IEC AND LOCAL CODES/ORDINANCES. THE ENGINEER MAY USE THE ARCHITECTS EGRESS MAPS (COMMON PATH OF TRAVEL/EXIT TRAVEL DISTANCE) AS STARTING POINT FOR A BASIS OF DESIGN. HOWEVER, IT SHALL REMAIN THE SOLE RESPONSIBILITY OF THE ENGINEER TO COMPLETE A SCOPE OF WORK THAT ADDRESSES ALL EGRESS LIGHTING I.E.; ROOMS, SPECIALIZED SPACES, PATHWAYS, ETC. PER THE AFOREMENTIONED CODES. FINAL EGRESS LIGHTING QUANTITIES AND LOCATIONS SHALL BE DETERMINED BY BUILDING AND FIRE INSPECTOR'S FIELD PLACEMENT DETERMINATION.

**Key Notes:**

- ALL FLUORESCENT TROFFERS TO BE B/S FOCAL POINT LUNA - CHANGE OUT ANY REMAINING PARABOLIC FIXTURES TO NEW BUILDING STANDARD. RELOCATE LIGHTING AS NECESSARY DUE TO REVISED LAYOUT.  
BID-ALTERNATE: EXISTING PARABOLIC FIXTURES AT LOCATIONS THAT ARE WITHIN (2) FIXTURES FROM EXISTING WINDOWS TO REMAIN, RELOCATE AS NECESSARY DUE TO REVISED LAYOUT.
- LIGHT SWITCHES TO BE CONFIGURED TO ACCOMMODATE DIMMABLE ZONE IN FRONT OF PROJECTOR AND STANDARD SWITCH BEHIND PROJECTOR.
- RELOCATE POWER FOR EXISTING ELECTRIC PROJECTOR SCREEN AS REQUIRED TO ALIGN WITH CENTER OF ROOM. VERIFY EXACT LOCATION WITH TENANT'S A/V VENDOR.
- ALL EXISTING TO REMAIN LIGHTING TO BE THOROUGHLY CLEANED AND IN GOOD CONDITION. ANY DAMAGED FIXTURES TO BE REPLACED.
- PROVIDE POWER & DATA/AV, AS DIRECTED BY TENANT'S A/V VENDOR, IN CEILING FOR CEILING-MOUNTED PROJECTOR & PROJECTOR SCREEN AND 1-1/2" CONDUIT BETWEEN TABLE AND CEILING-MOUNTED PROJECTOR. REUSE EXISTING WHERE PRACTICAL.
- PROVIDE EXHAUST FAN FOR MICROWAVES.
- REPLACE ALL EXISTING EMERGENCY EGRESS LIGHTING WITH NEW B/S BUG EYES (IF NOT EXISTING).
- FOR SOUND MITIGATION PURPOSES, IN ALL CONFERENCE ROOMS, TRAINING ROOM, INTERVIEW ROOMS AND ENCLOSED OFFICES, INSTALL ADDITIONAL ELBOW IN HVAC RETURNS AND ADDITIONAL ACOUSTICAL BLANKET ABOVE GRID-IT PARTITIONS AND ABOVE CEILING TILES.
- EXISTING FLUORESCENT STRIP LIGHTING TO REMAIN. DEMOLISH EXISTING EGG-CRATE LOUVER AND REPLACE WITH NEW OPAQUE DIFFUSER. ALL OTHER EXISTING LIGHTING TO REMAIN.
- INSTALL NEW B/S WALL SCONCE CENTERED BETWEEN SINKS.

**Symbols Legend**

TYPE	SYMBOL	MFG.	DESCRIPTION
	\$		SWITCH
	\$3		3WAY SWITCH
	(X)		BLDG STD EXIT LIGHT
	(X)		EXTG BLDG STD 2x4 SUSP. CEILING GRID & TILE
	(X)		EXTG BLDG STD FLU. STRIP LIGHT FIXTURE
F-1	(X)	FOCAL POINT	BLDG STD 2x4 FLU. LIGHT FIXTURE: LUNA #FLU24B 2-T8 WW LAMPS
F-2	(X)		BLDG STD RECESSED, FLU. DOWNLIGHT FIXTURE, 2-13W QUAD LAMPS
F-3	----	NULITE	FLU. UNDER-CABINET LIGHTING. #NU-24-120. PROVIDE SWITCH AT COUNTER.
F-4	(X)	LIGHTOLIER	6"D FLUOR. DOWNLIGHT FOR WET APPLICATION- LIGHTOLIER CALCULITE CFL LENSED DOWNLIGHT #8091FCLW, OR APPROVED EQUAL
F-5	----	ECOSENSE	ECOSPEC LINEAR INT #04LC-XX-3500K-120-120, OR APPROVED EQUAL
F-6	(X)		CEILING-MOUNTED PROJECTOR - VERIFY EXACT LOCATION WITH TENANT'S A/V VENDOR
F-7	(X)	GEORGE KOVACS	WALL SCONCE #PS040-37B. FINISH: DARK RESTORATION BRONZE. GLASS: ETCHED OPAL. DIMS: 4.75"Wx13.25"Hx4"PRGJ. LAMPS: 2-40W XENON

NO DESIGNATION = EXISTING  
N = NEW &/OR RELOCATED (COORDINATE RELOCATED ITEMS W/ARCHITECT)

**JPC ARCHITECTS**

**Carillon Point B4000**  
Floors 3 & 4  
4100 Carillon Pt.  
Kirkland, WA 98033

DESIGN JPC  
DRAWN AN/CB  
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NO. 13-0503



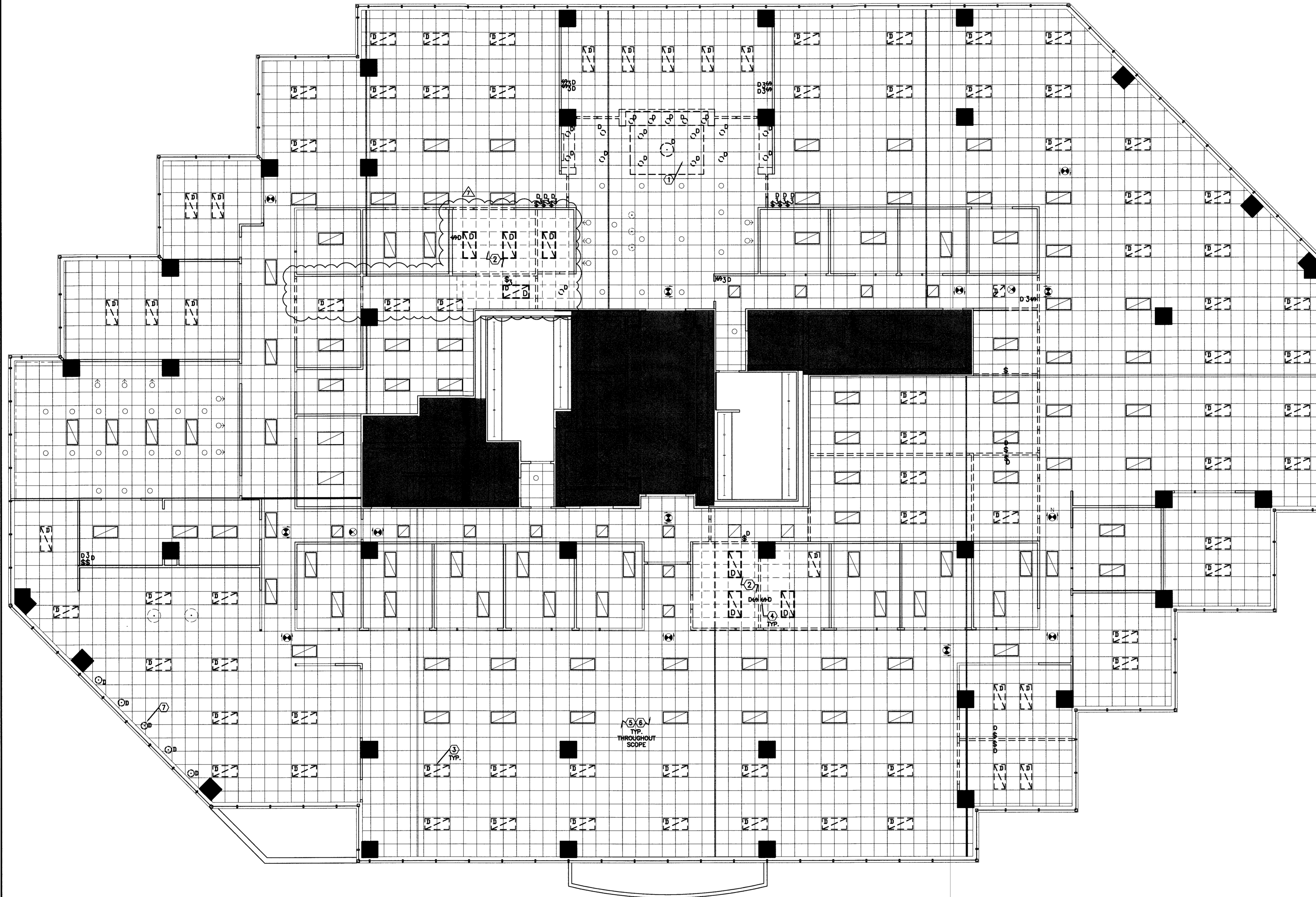
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01.09.14	ASI #4
01.29.14	ASI #5
02.20.14	Permit Revision

**Reflected Ceiling Plan**  
- 3rd Floor

**I-4.3.2**

1" = 1' 0"

Author: CHRISTINE BEND  
Date/Time: 2/19/2014 4:31 PM  
File: L:\2013\13-0503\WORK\MASTER\I-4.1 DEMO REFLECTED CEILING PLAN - 4TH FLOOR.DWG  
Plot Date: JPC 3/10/2014  
Plot: I-4.1 (1/8"=1'-0")



# Demolition Reflected Ceiling Plan - 4th Floor

Scale: 1/8"=1'-0"

## Key Notes:

- 1 EXTEND EXISTING CEILING GRID DUE TO DEMOLITION - REFER TO REFLECTED CEILING PLAN FOR MORE INFORMATION.
- 2 DEMOLISH EXISTING CEILING AND LIGHTING IN THIS AREA - REFER TO REFLECTED CEILING PLAN FOR NEW CEILING TYPE.
- 3 DEMOLISH ALL EXISTING FLUORESCENT PARABOLIC TROFFERS - TO BE REPLACED WITH NEW BUILDING STANDARD FLUORESCENT FIXTURES. REFER TO REFLECTED CEILING PLAN FOR ADDITIONAL INFORMATION.
- 4 DEMOLISH EXISTING LIGHT SWITCHES AS REQUIRED DUE TO DEMOLITION. REFER TO REFLECTED CEILING PLAN FOR NEW SWITCH LOCATIONS.
- 5 EXISTING BUILDING STANDARD SUSPENDED CEILING GRID AND ACOUSTICAL TILE SYSTEM TO REMAIN, UNLESS NOTED OTHERWISE. REPLACE ALL DAMAGED AND/OR STAINED TILE.
- 6 CONTRACTOR TO VERIFY CODE COMPLIANCE OF ALL EXISTING ACOUSTICAL CEILING GRID SYSTEMS & LIGHTING FIXTURES AND ASSOCIATED BRACING RESTRAINTS. SYSTEMS FOUND NOT IN COMPLIANCE SHALL BE MODIFIED AND/OR NEW PROVIDED, AS REQUIRED BY CURRENT BUILDING CODES. REFER TO DETAILS 13 - 16/1-9.1.
- 7 DEMOLISH (5) DECORATIVE PENDANT LIGHT FIXTURES ABOVE BAR-HEIGHT COUNTER AT EXTERIOR WINDOWS. REFER TO SHEET I-4.4.2 FOR REPLACEMENT SPECIFICATION.

NO DESIGNATION = EXISTING  
D = DEMOLISH

JPC ARCHITECTS

Carillon Point B4000  
Floors 3 & 4  
4100 Carillon Pt.  
Kirkland, WA 98033

DESIGN JPC  
DRAWN AN/CB  
CHECKED AN  
NO. 13-0503



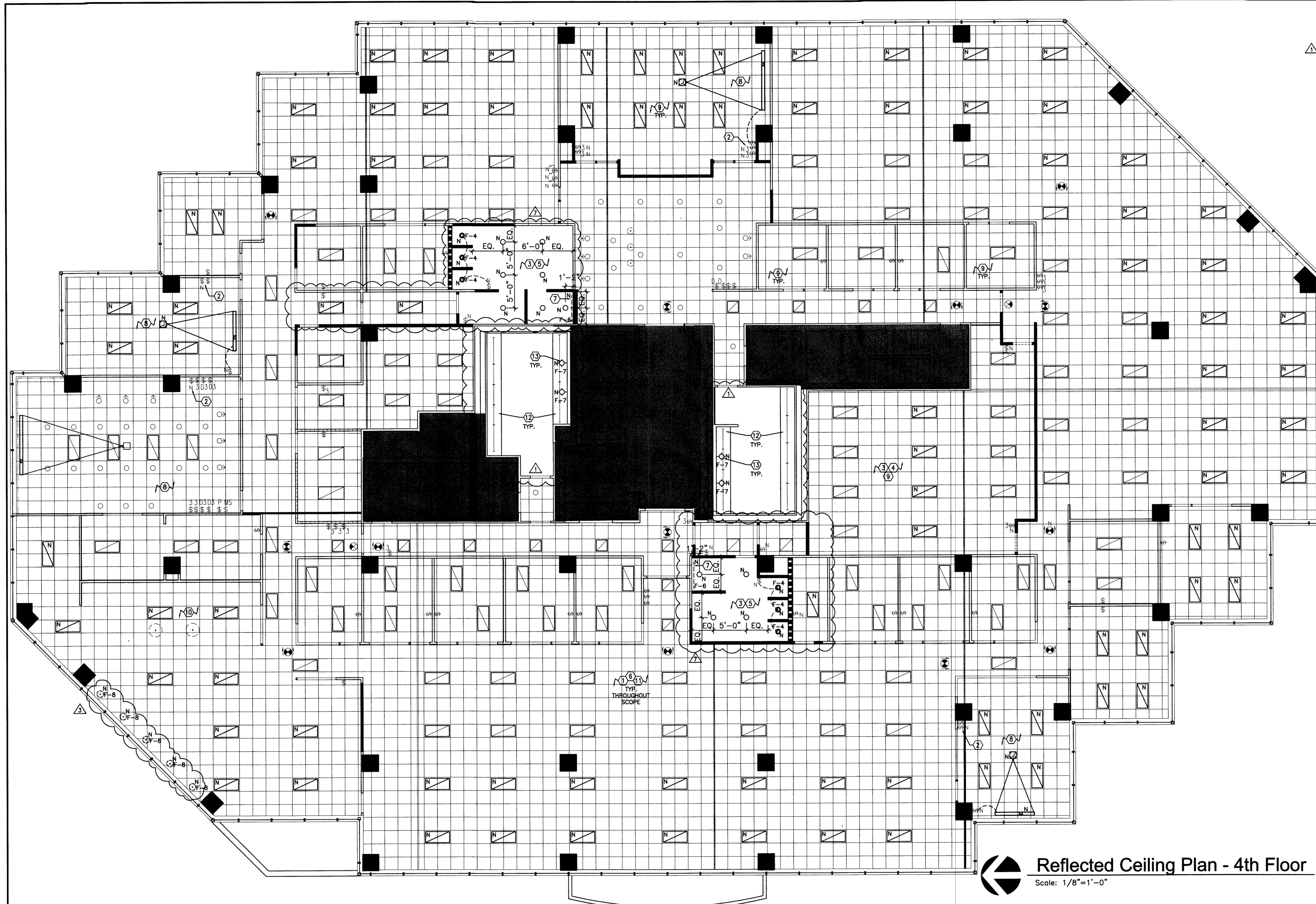
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02.20.14	Permit Revision

Demo Reflected  
Ceiling Plan - 4th Floor

I-4.4.1

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909 112th Avenue NE Suite 206  
Bellevue, WA 98004



Scale:  $1/8"=1'-0"$

1. COORDINATE THE WORK OF ALL TRADES INVOLVED IN THE CEILING WORK TO ENSURE CLEARANCES FOR FIXTURES, DUCTS, PIPING, CEILING SUSPENSION SYSTEM, ETC., NECESSARY TO MAINTAIN THE FINISHED CEILING HEIGHTS INDICATED ON ARCHITECT'S DRAWINGS.
2. PERIMETER CEILING ANGLE, WHERE OCCURS, SHALL BE INSTALLED TIGHT TO VERTICAL SURFACES, FREE FROM CURVES, BREAKS OR OTHER IRREGULARITIES AND PAINTED TO MATCH CEILING FINISH.
3. FURNISH AND INSTALL ALL ASSOCIATED TRIM AND SEISMIC BRACING AS REQUIRED.
4. LIGHT FIXTURES, NEW SPRINKLERS AND OTHER CEILING ELEMENTS SHALL BE CENTERED IN THE 2'X2' SECTION OF INDIVIDUAL CEILING TILES U.N.O. (EXIST. SPRINKLERS TO REMAIN UNLESS CONFLICT WITH NEW ELEMENTS).
5. PROVIDE CEILING ACCESS AS REQUIRED FOR EQUIPMENT AND SYSTEM MAINTENANCE, AND MATCH ADJACENT CEILING FINISH U.N.O.
6. ALL SOFFITS AND CEILING HEIGHTS ARE DIMENSIONED FROM TOP OF FINISHED FLOOR TO BOTTOM OF FINISHED GYPSUM BOARD OR CEILING TILE AND SHALL ALLOW FOR THICKNESS OF ALL FLOOR FINISHES.
7. THE REFLECTED CEILING PLAN INDICATES THE LOCATION OF CEILING HEIGHTS, LIGHT TYPES, LIGHT FIXTURES, AND ASSOCIATED ITEMS.
8. ALL SPECIFIC INFORMATION CONCERNING INSTALLATION FOR VARIOUS ABOVE-CEILING ELEMENTS ARE TO BE DESIGN BUILD, DOCUMENTATION BY OTHERS - PERMITTED SEPARATELY.
9. NOTIFY ARCHITECT OF ANY CONFLICTS OF LIGHT FIXTURE LOCATIONS WITH MAIN RUNNERS, DUCTS, STRUCTURES, HVAC, AND/OR (E)CONDUIT, PRIOR TO FRAMING FOR LIGHTS. ANY DISCREPANCIES BETWEEN ARCHITECT'S CEILING GRID LOCATION & ACTUAL FIELD CONDITIONS ARE TO BE CLARIFIED WITH THE ARCHITECT PRIOR TO FRAMING.
10. SUBMIT GRILLE, THERMOSTAT, AND OTHER FIXTURE AND ELEMENT LAYOUTS TO THE ARCHITECT FOR REVIEW AT LEAST 2 WEEKS PRIOR TO INSTALLATION.
11. VERIFY FIELD CONDITIONS AND LOCATIONS OF ALL PLUMBING, MECHANICAL DUCTS, STRUCTURAL ELEMENTS AND ALL OTHER RELATED ITEMS. INSTALL NEW PLUMBING, MECHANICAL, FANS, DUCTS, CONDUITS, AND OTHER RELATED ITEMS SO AS NOT TO CONFLICT WITH ANY/ALL FIELD CONDITIONS INCLUDING LUMINAIRES.

7. THE REFLECTED CEILING PLAN INDICATES THE LOCATION OF CEILING HEIGHTS, LIGHT TYPES, LIGHT FIXTURES, AND ASSOCIATED ITEMS.
8. ALL SPECIFIC INFORMATION CONCERNING INSTALLATION FOR VARIOUS ABOVE-CEILING ELEMENTS ARE TO BE DESIGN BUILD, DOCUMENTATION BY OTHERS - PERMITTED SEPARATELY.
9. NOTIFY ARCHITECT OF ANY CONFLICTS OF LIGHT FIXTURE LOCATIONS WITH MAIN RUNNERS, DUCTS, STRUCTURES, HVAC, AND/OR (E)CONDUIT. PRIOR TO FRAMING FOR LIGHTS: ANY DISCREPANCIES BETWEEN ARCHITECT'S CEILING GRID LOCATION & ACTUAL FIELD CONDITIONS ARE TO BE CLARIFIED WITH THE ARCHITECT PRIOR TO FRAMING.
10. SUBMIT GRILLE, THERMOSTAT, AND OTHER FIXTURE AND ELEMENT LAYOUTS TO THE ARCHITECT FOR REVIEW AT LEAST 2 WEEKS PRIOR TO INSTALLATION.
11. VERIFY FIELD CONDITIONS AND LOCATIONS OF ALL PLUMBING, MECHANICAL DUCTS, STRUCTURAL ELEMENTS AND ALL OTHER RELATED ITEMS. INSTALL NEW PLUMBING, MECHANICAL, FANS, DUCTS, CONDUITS, AND OTHER RELATED ITEMS SO AS TO NOT CONFLICT WITH ANY/ALL FIELD CONDITIONS INCLUDING LUMINAIRES.
12. INSTALL NEW LIGHT FIXTURES WITH PROTECTIVE FILM OR SIMILAR COVER OVER LOUVER, LENS, BAFFLE, ETC. TO AVOID FIXTURE SOILING OR DAMAGE. FIXTURES SHALL BE MAINTAINED CLEAN AND AS NEW. ALL LAMPS SHALL BE NEW AT PROJECT COMPLETION - RELAMP EXISTING FIXTURES.
13. CONTRACTOR TO VERIFY CODE COMPLIANCE OF EXISTING ACOUSTICAL CEILING GRID SYSTEMS AND ASSOCIATED SEISMIC BRACING RESTRAINTS. SYSTEMS FOUND NOT IN COMPLIANCE SHALL BE MODIFIED AND/OR NEW PROVIDED AS REQUIRED BY CURRENT BUILDING CODES (INCLUDING, BUT NOT LIMITED TO: CURRENT IBC WALL MOLDING (2" ANGLE) AND SEISMIC SEPARATION JOINTS).
14. CONTRACTOR TO VERIFY CODE COMPLIANCE OF ALL EXISTING LIGHTING FIXTURES AND ASSOCIATED SEISMIC BRACING RESTRAINTS. FIXTURES FOUND NOT IN COMPLIANCE SHALL BE MODIFIED AND/OR NEW PROVIDED AS REQUIRED BY CURRENT BUILDING AND/OR ENERGY COMPLIANCE CODES.
15. ALL EXISTING LIGHTS AND EGRESS LIGHTING LOCATIONS SHALL BE DETERMINED BY BUILDING AND FIRE INSPECTOR'S FIELD PLACEMENT DETERMINATION.

16. ALL SMOKE DAMPERS SHALL BE INSTALLED IN ACCORDANCE WITH IMC/IBC OR SUPERCEDING CODE. ALL FIRE DAMPERS SHALL BE INSTALLED IN ACCORDANCE WITH IMC/IBC OR SUPERCEDING CODE.
17. EGRESS LIGHTING SHALL BE DESIGNED BY A LICENSED ELECTRICAL ENGINEER BASED ON FINAL FLOOR PLAN(S) AND THE MOST CURRENT (IN FORCE) ISSUE OF THE IBC, IEC AND LOCAL CODES/ORDINANCES. THE ENGINEER MAY USE THE ARCHITECTS EGRESS MAPS (COMMON PATH OF TRAVEL/EXIT TRAVEL DISTANCE) AS STARTING POINT FOR A BASIS OF DESIGN. HOWEVER, IT SHALL REMAIN THE SOLE RESPONSIBILITY OF THE ENGINEER TO COMPLETE A SCOPE OF WORK THAT ADDRESSES ALL EGRESS LIGHTING I.E., ROOMS, SPECIALIZED SPACES, PATHWAYS, ETC. PER THE aforementioned codes. FINAL EGRESS LIGHTING QUANTITIES AND LOCATIONS SHALL BE DETERMINED BY BUILDING AND FIRE INSPECTOR'S FIELD PLACEMENT DETERMINATION.

- ① ALL FLUORESCENT TROFFERS TO BE B/S FOCAL POINT LUNA - CHANGE OUT ANY REMAINING PARABOLIC FIXTURES TO NEW BUILDING STANDARD. RELOCATE LIGHTING AS NECESSARY DUE TO REVISED LAYOUT.  
ADD ALTERNATE- EXISTING PARABOLIC FIXTURES AT LOCATIONS THAT ARE WITHIN (2) FIXTURES FROM EXTERIOR WINDOWS TO REMAIN; RELOCATE AS NECESSARY DUE TO REVISED LAYOUT.
- ② LIGHT SWITCHES TO BE CONFIGURED TO ACCOMMODATE DIMMABLE ZONE IN FRONT OF PROJECTOR AND STANDARD SWITCH BEHIND PROJECTOR.
- ③ PROVIDE VENTILATION IN SHOWER ROOMS & GYM-FULL AIR EXCHANGE EVERY 2-4 MINS. MINIMUM REQUIRED. REFER TO MECHANICAL PLANS FOR ADDITIONAL INFORMATION.
- ④ PROVIDE AND INSTALL (2) CEILING-MOUNTED FANS. EXACT LOCATION TO BE VERIFIED BY TENANT BASED ON EQUIPMENT LAYOUT.
- ⑤ GWB CEILING IN SHOWER ROOMS - HEIGHT TO MATCH ADJACENT RESTROOM.
- ⑥ ALL EXISTING TO REMAIN LIGHTING TO BE THOROUGHLY CLEANED AND IN GOOD CONDITION. ANY DAMAGED FIXTURES TO BE REPLACED.
- ⑦ PROVIDE LED STRIP LIGHTING FOR BACKLIT MIRROR: SEE DETAIL 11/-9.3.
- ⑧ PROVIDE POWER & DATA/AV. AS DIRECTED BY TENANT'S A/V VENDOR, IN CEILING FOR CEILING-MOUNTED PROJECTOR & PROJECTOR SCREEN AND 1-1/2" CONDUIT BETWEEN TABLE AND CEILING-MOUNTED PROJECTOR. REUSE EXISTING WHERE PRACTICAL.
- ⑨ FOR SOUND MITIGATION PURPOSES, IN ALL CONFERENCE ROOMS, GYM, INTERVIEW ROOMS AND ENCLOSED OFFICES, INSTALL ADDITIONAL ELBOW IN HVAC RETURNS AND ADDITIONAL ACOUSTICAL BLANKET ABOVE GRID-HIT PARTITIONS AND ABOVE CEILING TILE.
- ⑩ PROVIDE EXHAUST FAN FOR MICROWAVES.
- ⑪ REPLACE ALL EXISTING EMERGENCY EGRESS LIGHTING WITH NEW B/S BUG EYES (IF NOT EXISTING).
- ⑫ EXISTING FLUORESCENT STRIP LIGHTING TO REMAIN. DEMOLISH EXISTING EGG-ORATE LOUVER AND REPLACE WITH NEW OPAQUE DIFFUSER. ALL OTHER EXISTING LIGHTING TO REMAIN.
- ⑬ INSTALL NEW B/S WALL SCONCE CENTERED BETWEEN SINKS.

TYPE	SYMBOL	MFG.	DESCRIPTION
	\$		SWITCH
	\$3		3WAY SWITCH
	(C)		BLDG STD EXIT LIGHT
			EXTG BLDG STD 2x4 SUSP. CEILING GRID & TILE
			EXTG BLDG STD FLU. STRIP LIGHT FIXTURE
F-1		FOCAL POINT	BLDG STD 2x4 FLU. LIGHT FIXTURE: LUNA #FLU24B 2-TB WW LAMPS
F-2	○		BLDG STD RECESSED, FLU. DOWNLIGHT FIXTURE, 2-13W QUAD LAMPS
F-3	-----	NULITE	FLU. UNDER-CABINET LIGHTING. #NU-24-120. PROVIDE SWITCH AT COUNTER.
F-4	●	LIGHTOLIER	6"D FLUOR. DOWNLIGHT FOR WET APPLICATION - LIGHTOLIER CALCULITE CFL LENSED DOWNLIGHT #8091FCLW, OR APPROVED EQUAL
F-5	-----	ECOSENSE	ECOSPEC LINEAR INT #CH-LX-3500X-120-120, OR APPROVED EQUAL
F-6			CEILING-MOUNTED PROJECTOR - VERIFY EXACT LOCATION WITH TENANT'S A/V VENDOR
F-7		GEORGE KOVACS	WALL SCONCE #P5040-37B. FINISH: DARK RESTORATION BRONZE. GLASS: ETCHED OPAL. DIMS: 4.75"Wx13.25"Hx4"PROJ. LAMPS: 2-10W XENON
F-8	⊙	JUNO LIGHTING	LED PENDANT KIT GLASS SHADE: OPAL CYLINDER #PKL3240PAL WITH MONO-POINT CANOPY. FINISH: SATIN NICKEL. LAMP: 5W LED-2700K MTG HT: BOTTOM OF SHADE TO MATCH EXISTING

NO DESIGNATION = EXISTING  
N = NEW &/OR RELOCATED (COORDINATE RELOCATED  
ITEMS W/ARCHITECT)

# JPC ARCHITECTS

Carillon Point B4000  
Floors 3 & 4  
4100 Carillon Pt.  
Kirkland, WA 98033

DESIGN	JPC
DRAWN	AN/CB
CHECKED	AN
NO.	13-0503



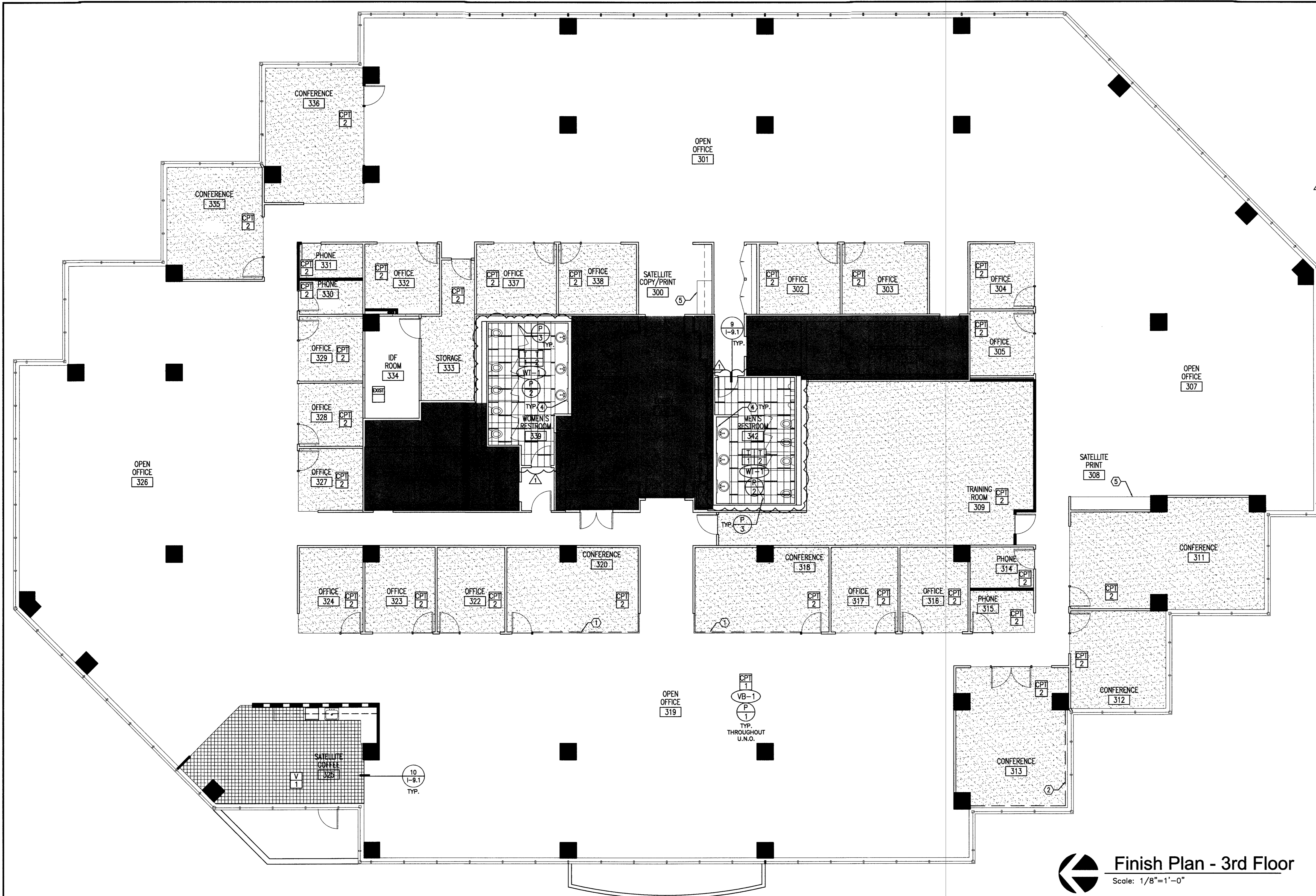
09.30.13	Progress Set
10.09.13	Permit / Bid Issue
11.22.13	ASI #1
11.25.13	ASI #2
12.17.13	CD Issue
12.20.13	ASI #3
01.09.14	ASI #4
01.29.14	ASI #5
02.20.14	Permit Revision

Reflected Ceiling Plan  
- 4th Floor

### I-4.4.2

1"=1'-0"

Author: JPC ARCHITECTS  
Date/Time: 2/20/2014 4:33 AM  
Project: VATE-001  
Drawn: JPC ARCHITECTS  
Check: JPC ARCHITECTS  
Title: FINISH PLAN - 3RD FLOOR



Finish Plan - 3rd Floor  
Scale: 1/8"=1'-0"

### Finish Notes:

- ALL AREAS TO RECEIVE CARPET AND BASE AS SCHEDULED U.N.O.
- ALL AREAS TO RECEIVE RB-1 U.N.O.
- ALL WALLS & PARTITIONS TO RECEIVE P-1 U.N.O.
- PREP ALL EXISTING FLOOR SURFACES TO RECEIVE NEW FINISHES AS SCHEDULED.
- PROVIDE PAINT APPLICATION APPROPRIATE TO THE SUBSTRATE TO WHICH IT IS TO BE APPLIED.
- ALL EXPOSED GYP. BD. SURFACES, BOTH EXISTING AND NEW, ARE TO RECEIVE NEW PAINT FINISH. PREP ALL SURFACES AS REQUIRED FOR NEW PAINT FINISH. PROVIDE ONE PRIME COAT PLUS TWO FINISH COATS
- CHANGES IN FLOOR MATERIALS THAT OCCUR AT FRAMED DOOR OPENINGS SHALL OCCUR AT THE CENTERLINE OF THE DOOR IN THE CLOSED POSITION.
- ANY DECORATIONS USED SHALL BE NON-COMBUSTIBLE OR FLAME - RETARDANT TREATED IN AN APPROVED OF MANNER (CURTAINS, DRAPES, SHADES, HANGINGS, ETC.)
- ALL INTERIOR PARTITIONS, CEILING FINISHES AND TRIM OF PUBLIC AREAS TO COMPLY WITH CLASS 1 MATERIAL CLASSIFICATION; FLAME SPREAD RATING 0 TO 25, SMOKE DEVELOPED 200. ALL INTERIOR WALL AND CEILING FINISHES AND TRIM OF NON-PUBLIC AREAS TO COMPLY WITH CLASS 2 MATERIAL CLASSIFICATION; FLAME SPREAD RATING 26 TO 75, SMOKE DEVELOPED 450.
- FLOOR COVERINGS OF PUBLIC AREAS TO MEET CLASS A INTERIOR FLOOR FINISH REQUIREMENTS; CRITICAL RADIANT FLUX OF 0.45 WATTS PER SQUARE CENTIMETER OR HIGHER, FLOOR COVERINGS OF NON-PUBLIC AREAS TO MEET CLASS B INTERIOR FLOOR FINISH REQUIREMENTS; CRITICAL RADIANT FLUX BETWEEN 0.22 WATTS PER SQUARE CENTIMETER AND 0.44 WATTS PER SQUARE CENTIMETER.
- CARPET INSTALLATION TO MEET THE GUIDELINES OF THE CARPET AND RUG INSTITUTE-CRI CARPET INSTALLATION STANDARD-CURRENT EDITION.
- PROVIDE FINISHED SCRIBE STRIPS AND FINISHED MILLWORK EDGES TO CREATE A FINISHED REVEAL CONDITION WHERE MILLWORK COUNTERS, CABINETS, ETC. "ABUT" ADJACENT PARTITION CONSTRUCTION. ALL EXPOSED REVEAL SURFACES AND EDGES TO HAVE SAME PLASTIC LAMINATE FINISH AS THE CASEWORK ITEM THEY "ABUT".
- CONTRACTOR TO CLEAN AND REPAIR ALL EXISTING EXTERIOR GLAZING AND INTERIOR RELITE MINI-BLINDS WITHIN THE WORK AREA.

### Key Notes:

- PROVIDE AND INSTALL BUILDING STANDARD HORIZONTAL MINI-BLINDS AT INTERIOR GLASS RELIGHTS AT CONFERENCE #318 & #320.
- PROVIDE AND INSTALL RECESSED BLACKOUT SHADES AT EXTERIOR WINDOWS IN CONFERENCE #313. MATCH TO EXISTING BLACKOUT SHADES IN CONFERENCE #430. NEW SHADES TO BE MANUAL.
- EXISTING TOILET PARTITIONS TO BE REUSED. REPAIR AND REALIGN PARTITIONS AND REPLACE ANY DAMAGED HARDWARE. APPLY ELECTROSTATIC PAINT-P3.
- INSTALL NEW FRAMED MIRROR CENTERED ABOVE EACH SINK. REFER TO MISC. HARDWARE SCHEDULE ON SHEET I-8.1 FOR ADDITIONAL INFORMATION.
- INSTALL NEW PLAM COUNTER AND 4" H BACKSPLASH (PL1) AT SATELLITE COPY/PRINT 300 & 308.

### Finish Specifications

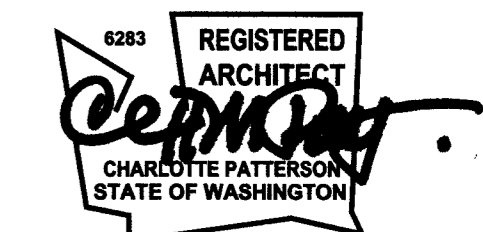
<b>FLOORING</b>	
<b>CPT 1</b>	TYPICAL FLOORING, U.N.O. SHAW STYLE NAME: CATALYST TILE STYLE NO: 59579 COLOR NO: 64755-MARBLE INSTALLATION: QUARTER-TURNED MFR REP.: LAURIE STALEY • 206.390.4246
<b>CPT 2</b>	CARPET TILE MFR: PATOCRAFT STYLE NAME: LOFT STYLE NO: Z6477 COLOR NO: 00765 ROCK SCISSORS PAPER INSTALLATION: QUARTER-TURNED MFR REP.: JEFF CALLISON • 206.730.5288
<b>V 1</b>	SHEET VINYL MFR: ARMSTRONG SERIES: LITHOS STONE COLOR NAME: LITHOS PHYLITE COLOR NO: 34335
<b>R 1</b>	RUBBER FLOOR MFR: ECOPE INTERNATIONAL PATTERN: EVERLAST FITNESS FLOORING ZONE 5 CLASSIC COLOR NAME: MOCHA LATTE #EL43 SIZE: 8MM X 48"W X CUSTOM LENGTH UNDERLAYMENT: ECOPE #OT4010 - 1/8" X 48" ROLL CONTACT: MATT TILTON • 209.640.4709
<b>T 1</b>	FLOOR TILE MFR: THOMPSON TILE PATTERN: CLAY #OV.CY.NCE COLOR: NOCE (BROWN) SIZE: 12"x24" GROUT: LATICRETE #35-MOCHA CONTACT: JULIE KIELIAN • 360.348.0025
<b>T 2</b>	ACCENT IN FLOOR TILE MFR: THOMPSON TILE PATTERN: CLAY #OV.CY.BLK COLOR: BLACK SIZE: 12"x24" HANDCUT TO 1"x12" GROUT: LATICRETE #35-MOCHA CONTACT: JULIE KIELIAN • 360.348.0025
<b>T 3</b>	SHOWER STALL FLOOR TILE MFR: THOMPSON TILE PATTERN: YURA NEW SERIES #OV.YN.LGY COLOR: LEAD GREY SIZE: 2"x2" GROUT: BLACK CONTACT: JULIE KIELIAN • 360.348.0025
<b>BASE</b>	
<b>RB1</b>	TYPICAL BASE, U.N.O. MFR: ARMSTRONG PRODUCT: 4"H COVED VINYL W/FOOT COLOR NAME: FRESH TAUPE COLOR NO: 64 NOTE: ROLLED GOODS
<b>GENERAL WALL PAINT (TYPICAL U.N.O.)</b>	
<b>P 1</b>	MFR: KELLEY MOORE COLOR NAME: COTTON LACE COLOR NO: KM3986 SHEEN: EGGSHELL, SEMI-GLOSS • WET AREAS
<b>ACCENT WALLS</b>	
<b>P 2</b>	MFR: BENJAMIN MOORE COLOR NAME: WHITE SAND COLOR NO: BM-OC-10 SHEEN: EGGSHELL LOCATION: RESTROOM WALLS & CEILINGS, SHOWER ROOM WALLS
<b>P 3</b>	MFR: BENJAMIN MOORE COLOR NAME: BITTERSWEET CHOCOLATE COLOR NO: 2114-10 TYPE: ELECTROSTATIC PAINT APPLICATION LOCATION: TOILET PARTITIONS
<b>P 4</b>	NOT USED
<b>WT 1</b>	WALL TILE MFR: THOMPSON TILE PATTERN: GI SERIES - SEMI-POLISHED/LAPATO COLOR: #TH.GL.IVO COLOR: IVORY SIZE: 12"x12" FIELD GROUT: TEC #903-BIRCH CONTACT: JULIE KIELIAN • 360-348.0025
<b>WT 2</b>	WALL TILE - SHOWER MFR: THOMPSON TILE PATTERN: UNICOLOUR - MATTE COLOR: IVORY SIZE: 12"x12" GROUT: TEC #903-BIRCH CONTACT: JULIE KIELIAN • 360-348.0025
<b>CASE WORK</b>	
<b>SS1</b>	QUARTZ SLAB MFR: CAESARSTONE COLOR NAME: SITAKE COLOR NO: 4230
<b>PL1</b>	PLASTIC LAMINATE MFR: WILSONART COLOR NAME: EVENING TIGRIS COLOR NO: 4874-60
<b>PL2</b>	NOT USED
<b>PL3</b>	NOT USED
<b>UPHOLSTERY</b>	
<b>UPH1</b>	MFR: WOLF GORDON PATTERN: ANSONIA COLOR NO: G8100116-MINK LOCATION: BENCH SEAT
<b>UPH2</b>	MFR: MOMENTUM PATTERN: TWIST COLOR: VELLUM REPEAT: 7-1/4" L X 7" W LOCATION: BENCH BACK

JPC ARCHITECTS

Carillon Point B4000  
Floors 3 & 4  
4100 Carillon Pt.  
Kirkland, WA 98033

DESIGN JPC  
DRAWN AN/CB  
CHECKED AN  
NO. 13-0503

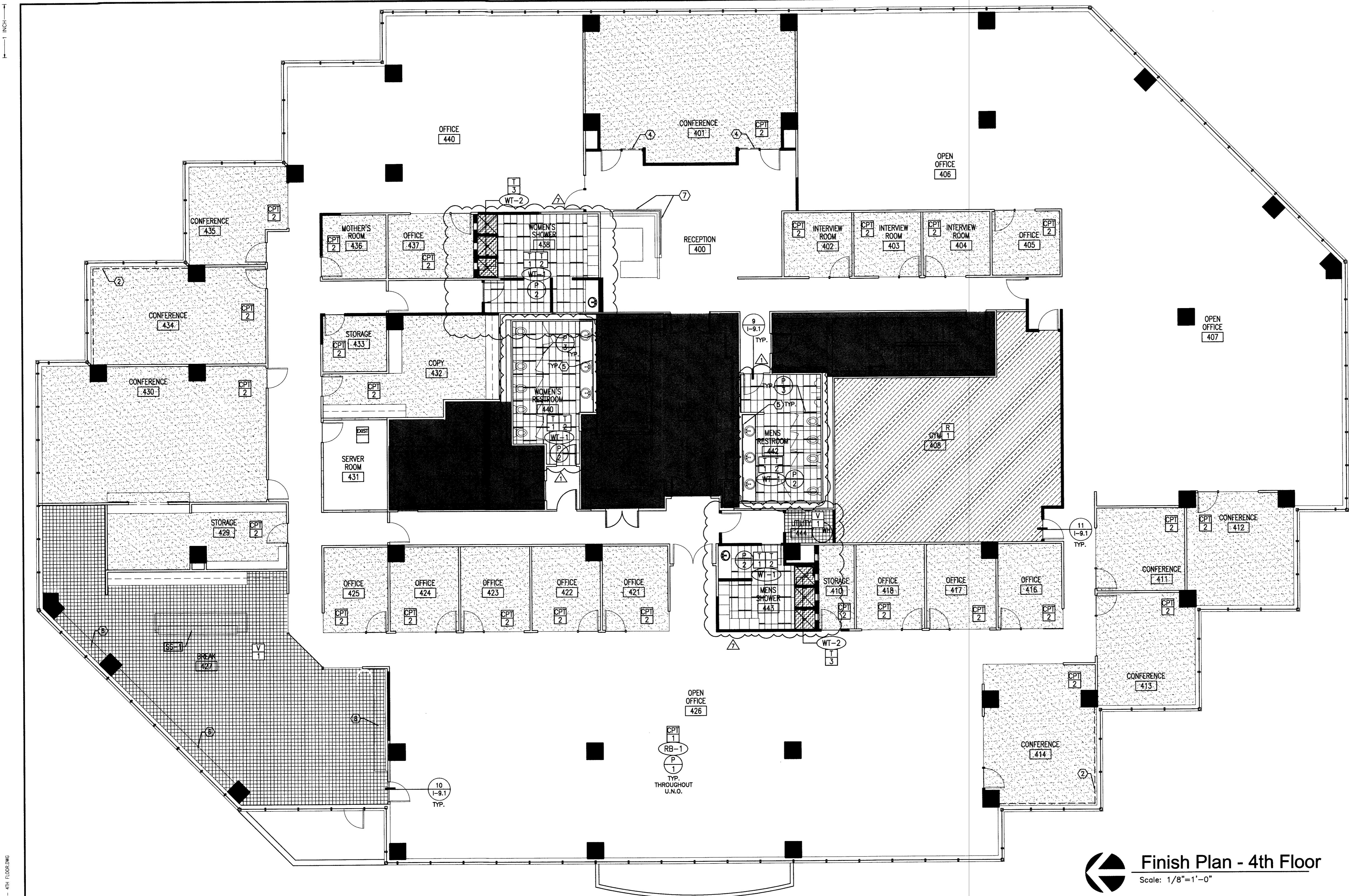
909 112th Avenue NE Suite 206  
Bellevue, WA 98004



09.30.13	Progress Set
10.09.13	Permit / Bid Issue
10.22.13	ASI #1
11.25.13	ASI #2
12.17.13	CD Issue
12.20.13	ASI #3
01.09.14	ASI #4
01.29.14	ASI #5
02.20.14	Permit Revision

Finish Plan and Finish  
Schedule - 3rd Floor

I-6.3



Finish Plan - 4th Floor  
Scale: 1/8"=1'-0"

Finish Notes:

- ALL AREAS TO RECEIVE CARPET AND BASE AS SCHEDULED U.N.O.
- ALL AREAS TO RECEIVE RB-1 U.N.O.
- ALL WALLS & PARTITIONS TO RECEIVE P-1 U.N.O.
- PREP ALL EXISTING FLOOR SURFACES TO RECEIVE NEW FINISHES AS SCHEDULED.
- PROVIDE PAINT APPLICATION APPROPRIATE TO THE SUBSTRATE TO WHICH IT IS TO BE APPLIED.
- ALL EXPOSED GYP. BD. SURFACES, BOTH EXISTING AND NEW, ARE TO RECEIVE NEW PAINT FINISH. PREP ALL SURFACES AS REQUIRED FOR NEW PAINT FINISH. PROVIDE ONE PRIME COAT PLUS TWO FINISH COATS
- CHANGES IN FLOOR MATERIALS THAT OCCUR AT FRAMED DOOR OPENINGS SHALL OCCUR AT THE CENTERLINE OF THE DOOR IN THE CLOSED POSITION.
- ANY DECORATIONS USED SHALL BE NON-COMBUSTIBLE OR FLAME - RETARDANT TREATED IN AN APPROVED OF MANNER (CURTAINS, DRAPES, SHADES, HANGINGS, ETC.)
- ALL INTERIOR PARTITIONS, CEILING FINISHES AND TRIM OF PUBLIC AREAS TO COMPLY WITH CLASS 1 MATERIAL CLASSIFICATION; FLAME SPREAD RATING 0 TO 25, SMOKE DEVELOPED 200. ALL INTERIOR WALL AND CEILING FINISHES AND TRIM OF NON-PUBLIC AREAS TO COMPLY WITH CLASS 2 MATERIAL CLASSIFICATION; FLAME SPREAD RATING 26 TO 75, SMOKE DEVELOPED 450.
- FLOOR COVERINGS OF PUBLIC AREAS TO MEET CLASS A INTERIOR FLOOR FINISH REQUIREMENTS; CRITICAL RADIANT FLUX OF 0.45 WATTS PER SQUARE CENTIMETER OR HIGHER, FLOOR COVERINGS OF NON-PUBLIC AREAS TO MEET CLASS B INTERIOR FLOOR FINISH REQUIREMENTS; CRITICAL RADIANT FLUX BETWEEN 0.22 WATTS PER SQUARE CENTIMETER AND 0.44 WATTS PER SQUARE CENTIMETER.
- CARPET INSTALLATION TO MEET THE GUIDELINES OF THE CARPET AND RUG INSTITUTE-CRI CARPET INSTALLATION STANDARD-CURRENT EDITION.
- PROVIDE FINISHED SCRIBE STRIPS AND FINISHED MILLWORK EDGES TO CREATE A FINISHED REVEAL CONDITION WHERE MILLWORK COUNTERS, CABINETS, ETC. "ABUT" ADJACENT PARTITION CONSTRUCTION. ALL EXPOSED REVEAL SURFACES AND EDGES TO HAVE SAME PLASTIC LAMINATE FINISH AS THE CASEWORK ITEM THEY "ABUT".
- CONTRACTOR TO CLEAN AND REPAIR ALL EXISTING EXTERIOR GLAZING AND INTERIOR RELITE MINI-BLINDS WITHIN THE WORK AREA.

Key Notes:

- NOT USED.
- PROVIDE AND INSTALL RECESSED BLACKOUT SHADES AT EXTERIOR WINDOWS IN CONFERENCE-#401, #414 & #434. MATCH TO EXISTING BLACKOUT SHADES IN CONFERENCE #430. NEW SHADES TO BE MANUAL.
- EXISTING TOILET PARTITIONS TO BE REUSED. REPAIR AND REALIGN PARTITIONS AND REPLACE ANY DAMAGED HARDWARE. APPLY ELECTROSTATIC PAINT-P3.
- PROVIDE AND INSTALL BUILDING STANDARD HORIZONTAL MINI-BLINDS AT INTERIOR GLASS RELIGHTS AT CONFERENCE #401.
- INSTALL NEW FRAMED MIRROR CENTERED ABOVE EACH SINK. REFER TO MISC. HARDWARE SCHEDULE ON SHEET I-8.1 FOR ADDITIONAL INFORMATION.
- INSTALL NEW PLAM COUNTER (PL1) AT BAR-HT COUNTER NEAR WINDOWS AT BREAK 427.
- PROVIDE & INSTALL NEW 1/4" THICK FROSTED GLASS PANELS WITH POLISHED FLAT EDGE AT RECEPTION DESK- SIZE TO MATCH OLD PANELS. MOUNT WITH SALVAGED STAND-OFF HARDWARE.
- REPLACE EXISTING UPHOLSTERED BENCH SEAT (UPH1) AND BACK (UPH2).

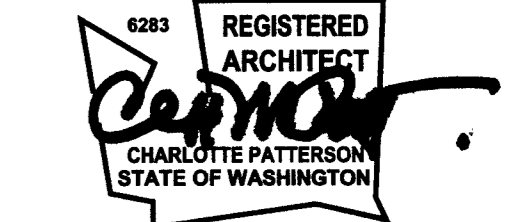
Finish Specifications

- FLOORING**
- CPT 1**  
TYPICAL FLOORING, U.N.O. SHAW  
STYLE NAME: CATALYST TILE  
STYLE NO: 59573  
COLOR NO: 64755-MARBLE  
INSTALLATION: QUARTER-TURNED  
MFR REP.: LAURIE STALEY @ 206.390.4246
- CPT 2**  
CARPET TILE  
MFR: PATCRAFT  
STYLE NAME: LOFT  
STYLE NO: 26477  
COLOR NO: 00765 ROCK SCISSORS PAPER  
INSTALLATION: QUARTER-TURNED  
MFR REP.: JEFF CALLISON @ 206.730.5288
- V 1**  
SHEET VINYL  
MFR: ARMSTRONG  
SERIES: LITHOS STONE  
COLOR NAME: LITHOS PHYLLITE  
COLOR NO: 34335
- R 1**  
RUBBER FLOOR  
MFR: Ecore INTERNATIONAL  
PATTERN: EVERLAST FITNESS FLOORING ZONE 5 CLASSIC  
COLOR NAME: MOCHA LATTE #EL43  
SIZE: 8MM X 48" W X CUSTOM LENGTH  
UNDERLAYMENT: Ecore #QT4010 - 1/8" X 48" ROLL  
CONTACT: MATT TILTON @ 209.640.4709
- T 1**  
FLOOR TILE  
MFR: THOMPSON TILE  
PATTERN: CLAY #OV.CY.NCE  
COLOR: NOCE (BROWN)  
SIZE: 12"x24"  
GROUT: LATICRETE #35-MOCHA  
CONTACT: JULIE KIELIAN @ 360.348.0025
- T 2**  
ACCENT IN FLOOR TILE  
MFR: THOMPSON TILE  
PATTERN: CLAY #OV.CY.BLK  
COLOR: BLACK  
SIZE: 12"x24" HANDCUT TO 1"x12"  
GROUT: LATICRETE #35-MOCHA  
CONTACT: JULIE KIELIAN @ 360.348.0025
- T 3**  
SHOWER STALL FLOOR TILE  
MFR: THOMPSON TILE  
PATTERN: YURA NEW SERIES #OV.YN.LGY  
COLOR: LEAD GREY  
SIZE: 2"x2"  
GROUT: BLACK  
CONTACT: JULIE KIELIAN @ 360.348.0025
- BASE**
- RB 1**  
TYPICAL BASE, U.N.O.  
MFR: ARMSTRONG  
PRODUCT: 4" H COVED VINYL W/FOOT  
COLOR NAME: FRESH TAUPE  
COLOR NO: 64  
NOTE: ROLLED GOODS
- GENERAL WALL PAINT (TYPICAL U.N.O.)**
- P 1**  
MFR: KELLEY MOORE  
COLOR NAME: COTTON LACE  
COLOR NO: KM3986  
SHEEN: EGGSHELL, SEMI-GLOSS @ WET AREAS
- ACCENT WALLS**
- P 2**  
MFR: BENJAMIN MOORE  
COLOR NAME: WHITE SAND  
COLOR NO: BM-OC-10  
SHEEN: EGGSHELL  
LOCATION: RESTROOM WALLS & CEILINGS, SHOWER ROOM WALLS
- P 3**  
MFR: BENJAMIN MOORE  
COLOR NAME: BITTERSWEET CHOCOLATE  
COLOR NO: 2114-10  
TYPE: ELECTROSTATIC PAINT APPLICATION  
LOCATION: TOILET PARTITIONS
- P 4**  
NOT USED
- WT 1**  
WALL TILE  
MFR: THOMPSON TILE  
PATTERN: G1 SERIES - SEMI-POLISHED/LAPATO  
COLOR: IVORY  
SIZE: 12"x12" FIELD  
GROUT: TEC #903-BIRCH  
CONTACT: JULIE KIELIAN @ 360-348.0025
- WT 2**  
WALL TILE - SHOWER  
MFR: THOMPSON TILE  
PATTERN: UNICOLOUR - MATTE  
COLOR: IVORY  
SIZE: 12"x12"  
GROUT: TEC #903-BIRCH  
CONTACT: JULIE KIELIAN @ 360-348.0025
- CASE WORK**
- SS 1**  
QUARTZ SLAB  
MFR: CAESARSTONE  
COLOR NAME: SHITAKE  
COLOR NO: 4230
- PL 1**  
PLASTIC LAMINATE  
MFR: WILSONART  
COLOR NAME: EVENING TIGRIS  
COLOR NO: 4874-60
- PL 2**  
NOT USED
- PL 3**  
NOT USED
- UPHOLSTERY**
- UPH 1**  
MFR: WOLF GORDON  
PATTERN: ANSONIA  
COLOR NO: 68100116-MINK  
LOCATION: BENCH SEAT
- UPH 2**  
MFR: MOMENTUM  
PATTERN: TWIST  
COLOR: VELLUM  
REPEAT: 7-1/4" L X 7" W  
LOCATION: BENCH BACK

JPC ARCHITECTS

Carillon Point B4000  
Floors 3 & 4  
4100 Carillon Pt.  
Kirkland, WA 98033

DESIGN JPC  
DRAWN AN/CB  
CHECKED AN  
NO. 13-0503



09.30.13	Progress Set
10.09.13	Permit / Bid Issue
10.22.13	ASI #1
11.25.13	ASI #2
12.17.13	CD Issue
12.20.13	ASI #3
01.09.14	ASI #4
01.29.14	ASI #5
02.20.14	Permit Revision

Finish Plan and Finish  
Schedule - 4th Floor

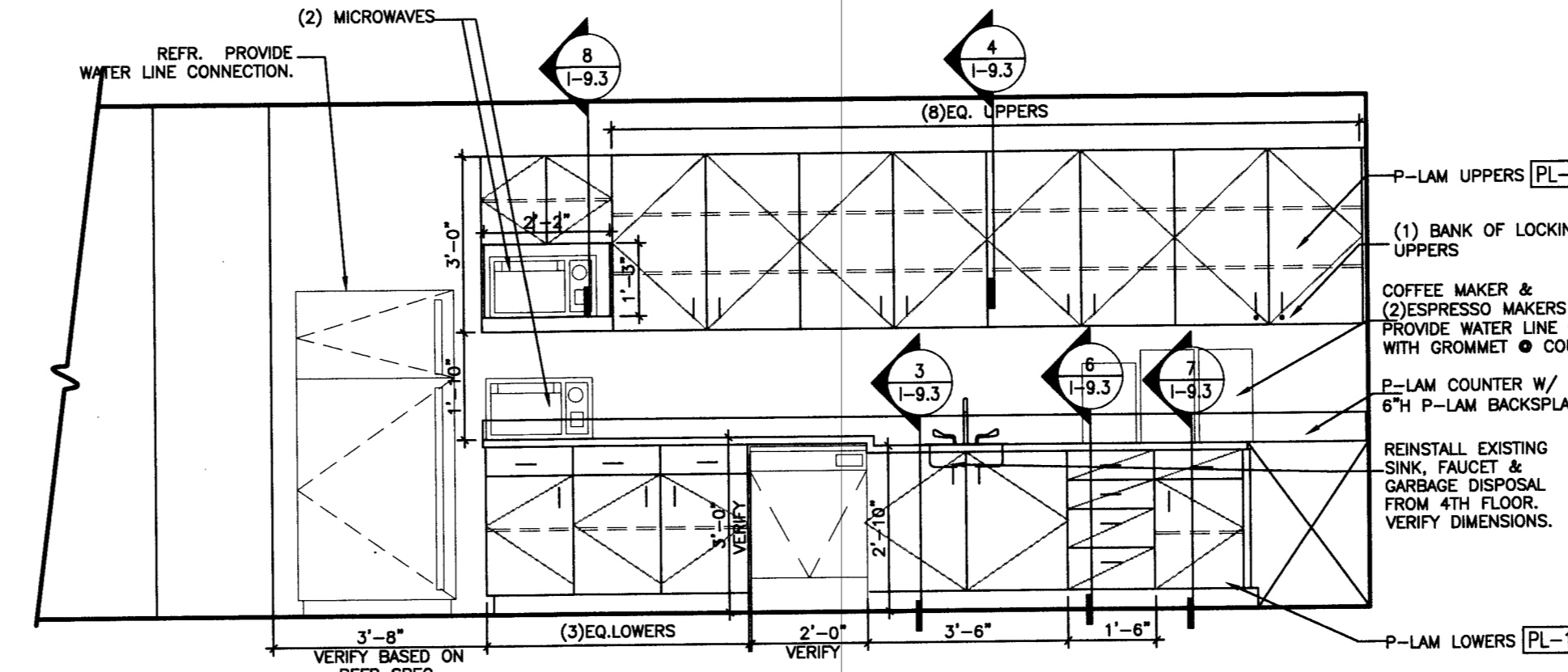
I-6.4

1" = 1'-0"

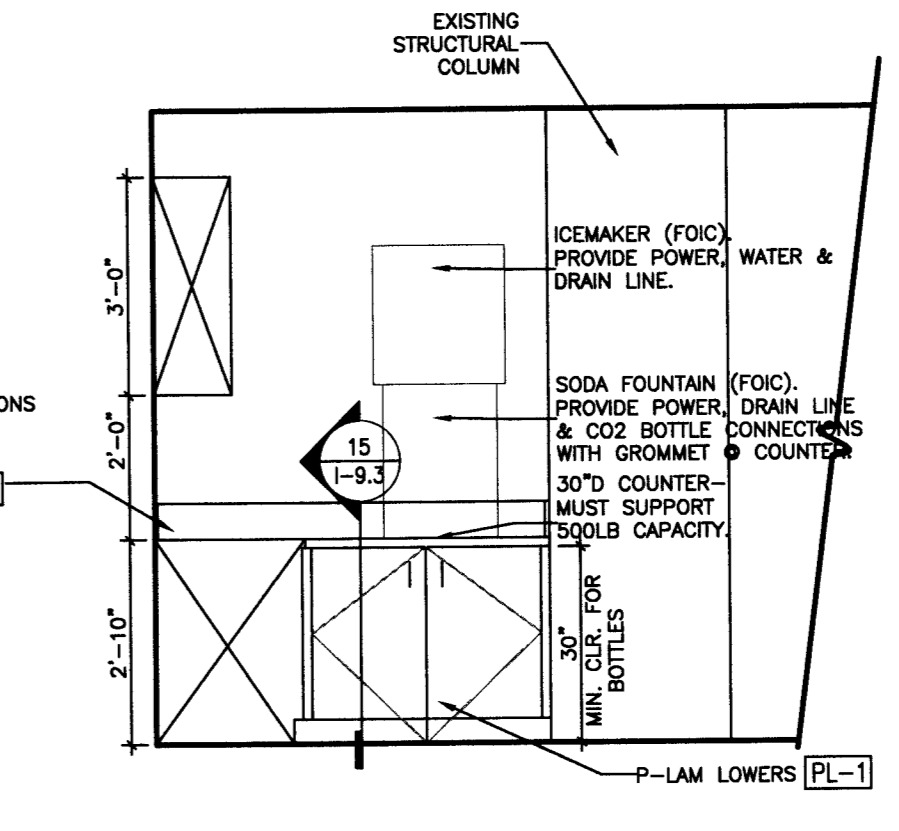
DATE: 11/20/2014 11:20:00 AM PROJECT: INTERIOR ELEVATIONS.DWG  
DESIGNED BY: JPC/STB DRAWN BY: JPC/STB CHECKED BY: JPC/STB  
PLOT DATE: 11/20/2014 11:20:00 AM PLOT BY: JPC/STB

Appliance/Accessories Schedule:	
(Provided & installed by contractor U.N.O.)	
ITEM	DESCRIPTION
A	DOUBLE-DOOR GLASS-FRONT COOLER EXISTING - RELOCATE FROM FLOOR 2 QUANTITY: 1 LOCATION: BREAK 427
B	ADA SHOWER SEAT MFR: BOBRICK MODEL: #B-5181 ADA SHOWER CONTROLS MFR: MOEN SINGLE FUNCTION HANDSHOWER W/ SLIDEBAR MODEL: #3869 FINISH: CHROME NOTE: INCLUDE A DIVERTER VALVE AND WALL-MOUNTED SHOWER HEAD TO MATCH NON-ADA HEAD ADA 2-WALL SHOWER STALL GRAB BAR MFR: BOBRICK MODEL: #B-6861 FINISH: STAINLESS STEEL ADA 18" VERTICAL GRAB BAR MFR: BOBRICK MODEL: #B-6806-18 FINISH: STAINLESS STEEL
C	NON-ADA SHOWER CONTROLS MFR: MOEN SINGLE-HANDLE PRESSURE BALANCING VALVE W/HAF MODEL: 8325 FINISH: CHROME SHOWER CURTAIN ROD MFR: BOBRICK MODEL: #B-6047 VINYL SHOWER CURTAIN MFR: BOBRICK MODEL: #204-2 SIZE: 42"W X 72"H STAINLESS STEEL SHOWER CURTAIN HOOKS MFR: BOBRICK MODEL: #204-1
E	18" VERTICAL GRAB BAR MFR: BOBRICK MODEL: #B-6806-18 FINISH: STAINLESS STEEL LOCATION: ADA STALLS IN RESTROOMS
F	WALL-MOUNTED MIRROR WOOD: MATCH TO BUILDING STANDARD FRAME: MATCH TO BUILDING STANDARD SIZE: 24"W X 42"H FINISH: DARK ESPRESSO - MATCH TO BUILDING STANDARD
G	REFRIGERATOR MFR: LG MODEL: LDC24370ST NOTE: PROVIDE FILTERED WATER LINE TO UNIT. FINISH: STAINLESS STEEL LOCATION: SATELLITE COFFEE 325
H	MICROWAVE MFR: GE COUNTERTOP MICROWAVE OVEN, 1.6 C.U. FT. MODEL: #JES1656SRSS SIZE: 21-3/4"W X 17-11/16"D X 12-13/16"H MODEL: STAINLESS STEEL NOTE: VERIFY DIMENSIONS WITH EXISTING CABINETRY @ BREAK 427 QUANTITY: 4 LOCATIONS: (2) @ SATELLITE COFFEE 325, (2) @ BREAK 427
I	DISHWASHER (REINSTALL FROM 4TH FLOOR DEMO) VERIFY DIMENSIONS LOCATION: SATELLITE COFFEE 325

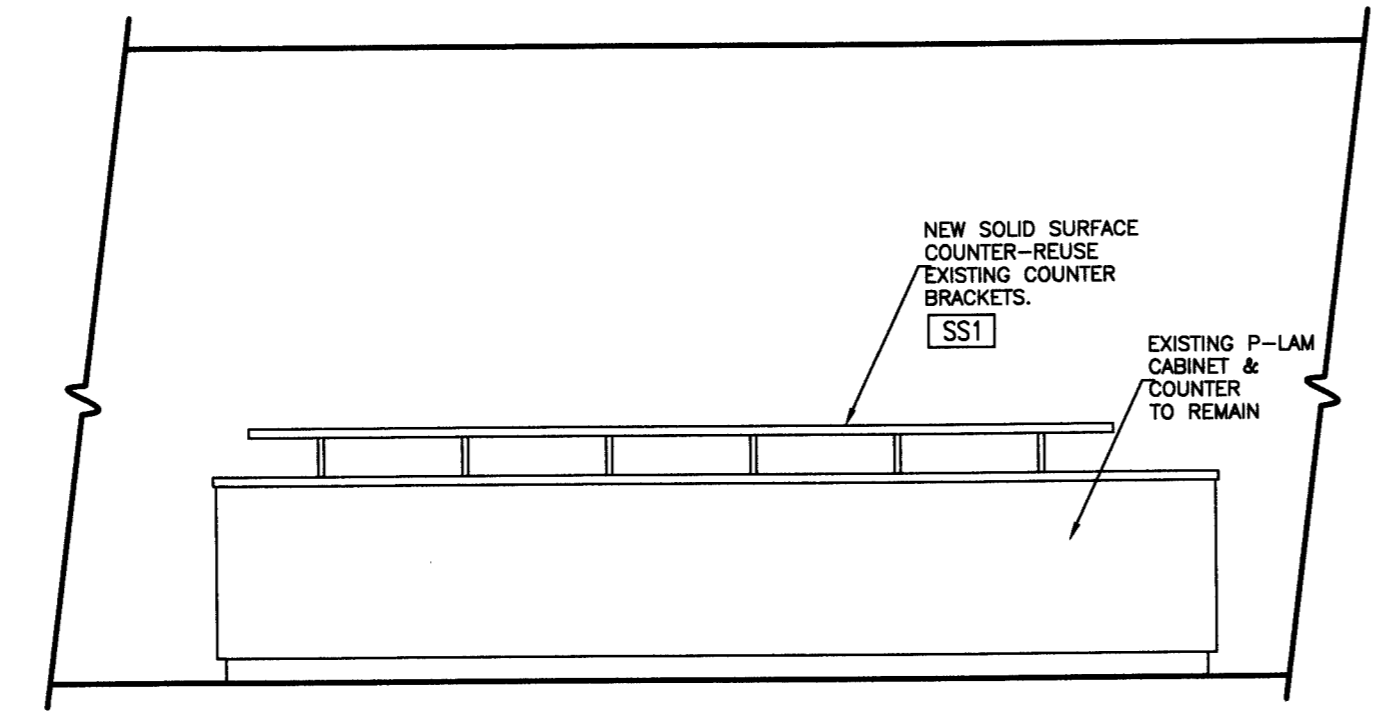
Appliance/Accessories Schedule (Cont'd):	
(Provided & installed by contractor U.N.O.)	
ITEM	DESCRIPTION
J	COFFEE MAKER (PROVIDED BY TENANT) PROVIDE FILTERED WATER LINE TO UNIT VERIFY DIMENSIONS QUANTITY: 2 LOCATIONS: (1) @ SATELLITE COFFEE 325, (1) @ BREAK 427
K	ESPRESSO MAKER (PROVIDED BY TENANT) PROVIDE FILTERED WATER LINE TO UNIT VERIFY DIMENSIONS QUANTITY: 2 LOCATIONS: (1) @ SATELLITE COFFEE 325, (1) @ BREAK 427
L	SODA FOUNTAIN WITH ICEMAKER (PROVIDED BY TENANT) PROVIDE FILTERED WATER LINE AND DRAIN LINE TO UNIT VERIFY DIMENSIONS QUANTITY: 1 @ SATELLITE COFFEE 325
M	DOUBLE-DOOR COMMERCIAL REFRIGERATOR MFR: BEVERAGE-AIR HORIZON MODEL: HRP2 DIMS: 52"W X 32"D X 78-1/2"H LOCATION: BREAK 427
N	TOWEL HOOK MFR: BOBRICK MODEL: B-2116 FINISH: SATIN NICKEL QUANTITY: 6 - SHOWER ROOM
O	CORNER SHELF MFR: KOHLER MODEL: K-1896 FINISH: POLISHED STAINLESS STEEL QUANTITY: 6 - SHOWERS



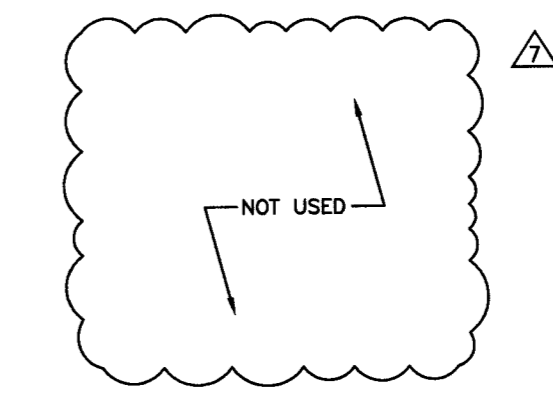
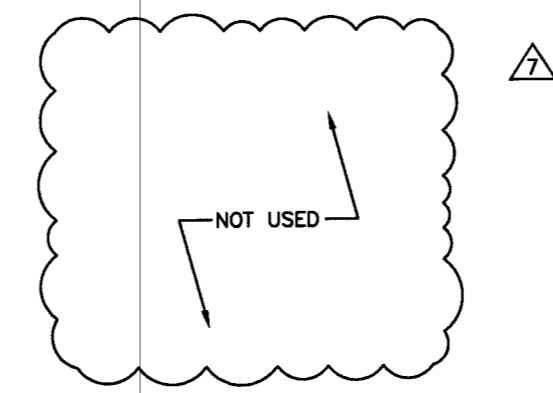
3 Satellite/Coffee #325  
Scale: 3/8"=1'-0"



4 Satellite/Coffee #325  
Scale: 3/8"=1'-0"

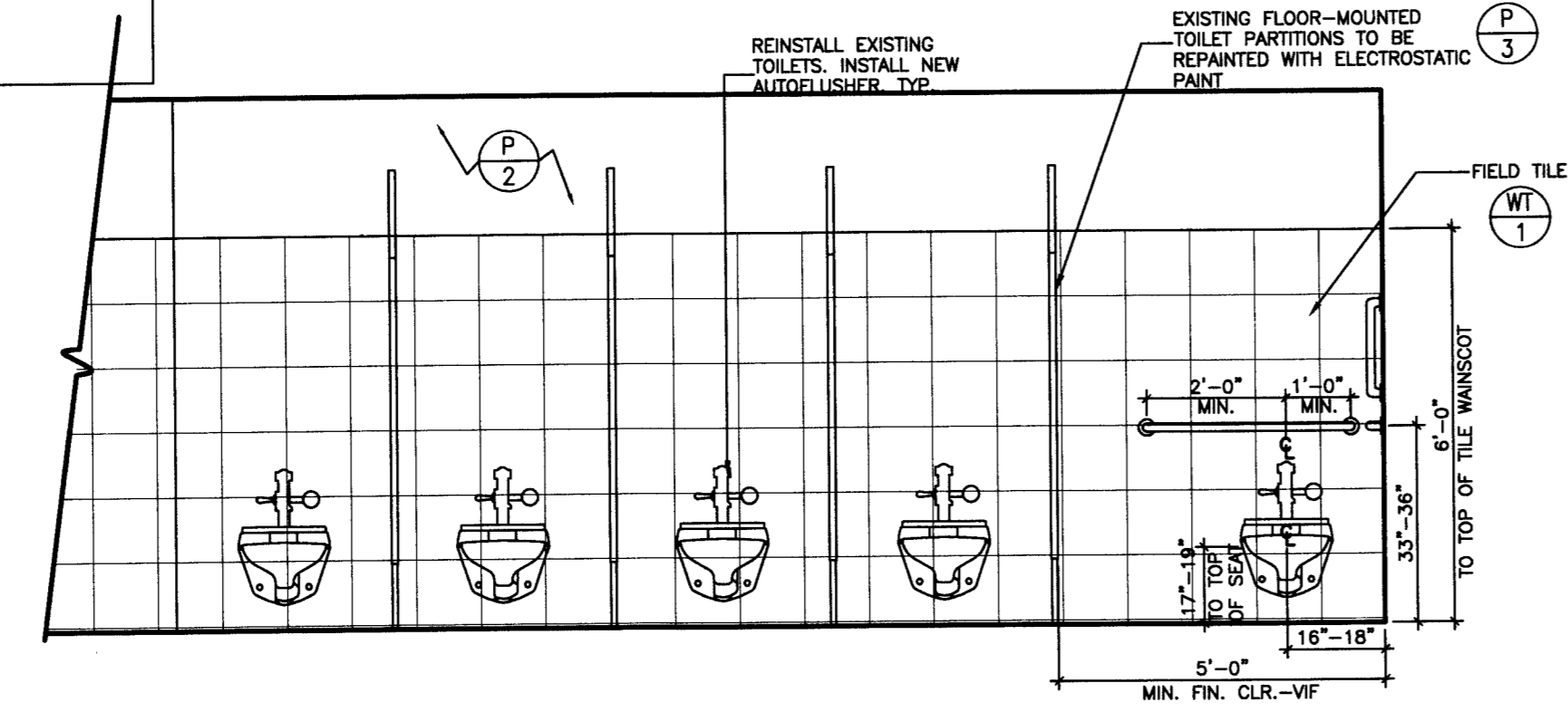


6 Break Area Bar #427  
Scale: 3/8"=1'-0"

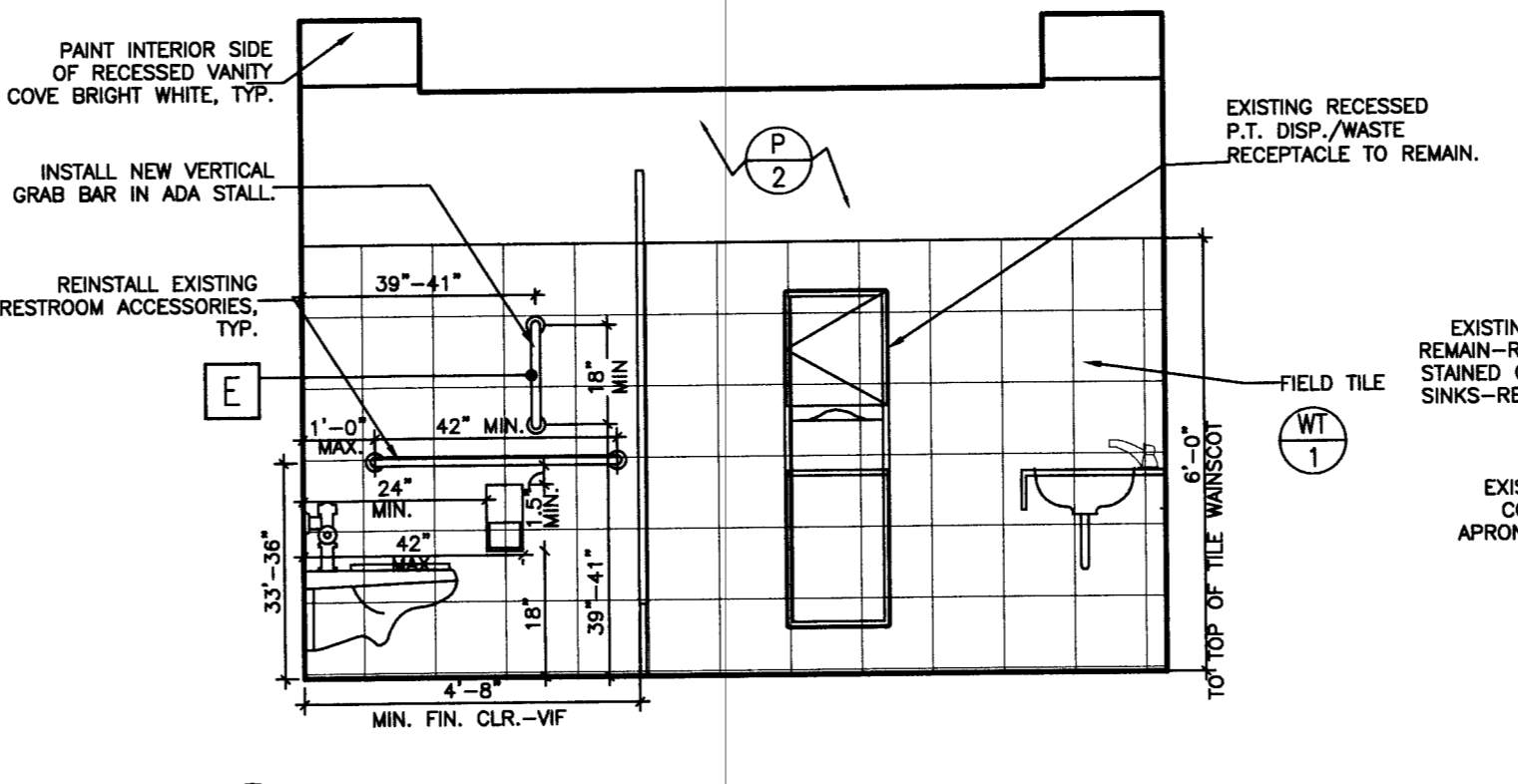


7 Women's Restroom #440  
Scale: 3/8"=1'-0"

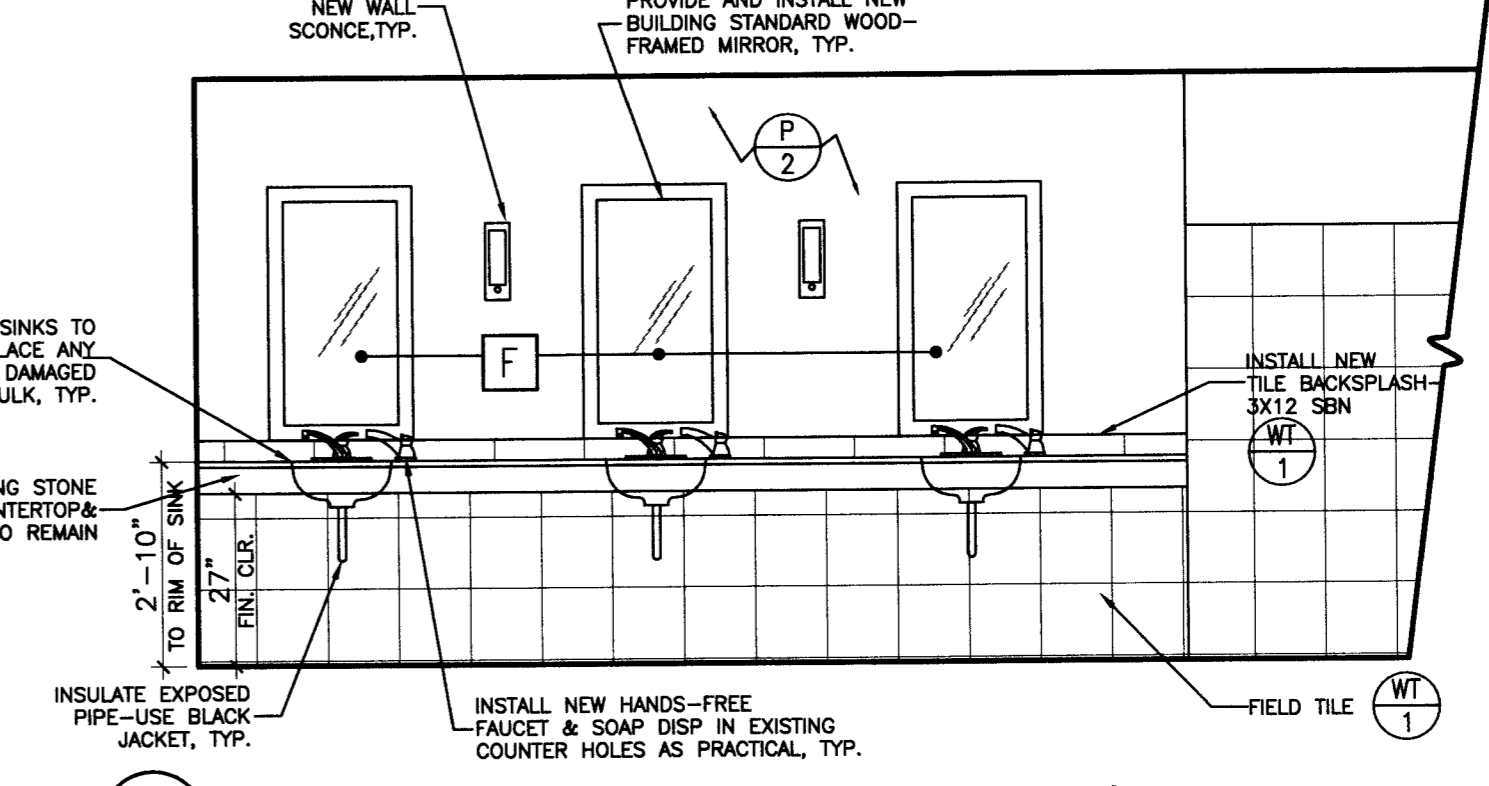
8 Men's Restroom #442  
Scale: 3/8"=1'-0"



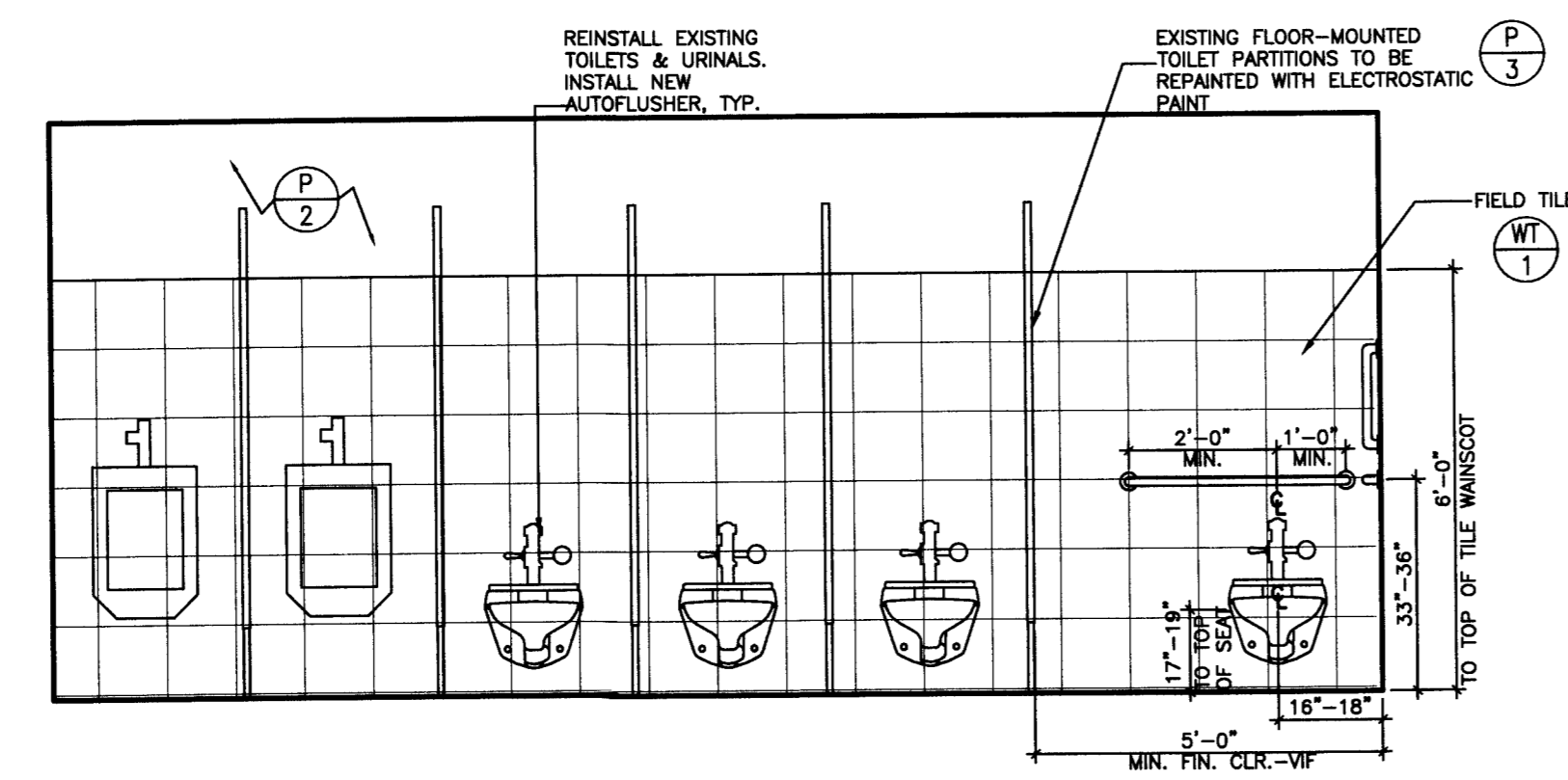
10 Women's Restroom #339 (#440 Sim)  
Scale: 3/8"=1'-0"



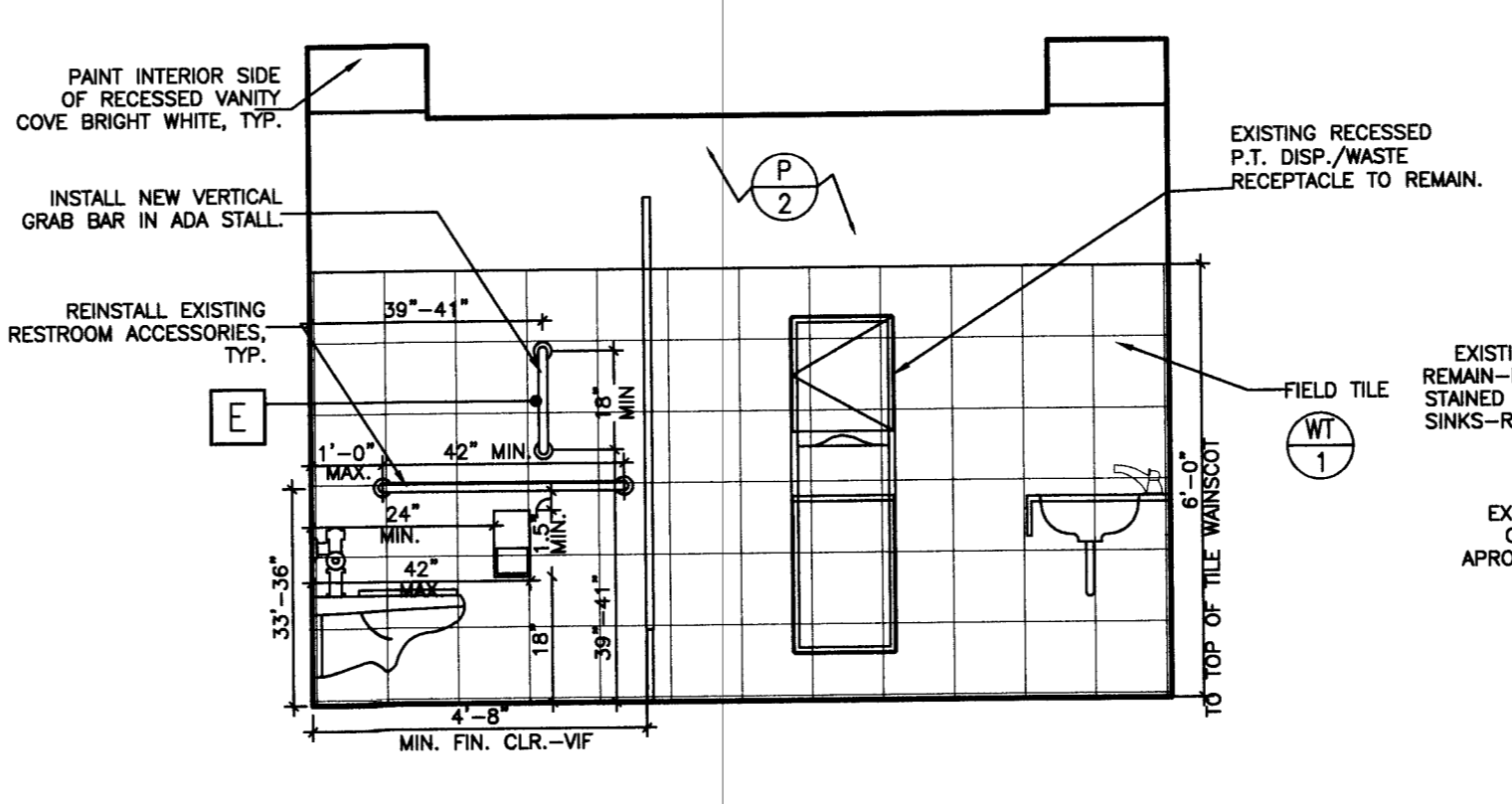
11 Women's Restroom #339 (#440 Sim)  
Scale: 3/8"=1'-0"



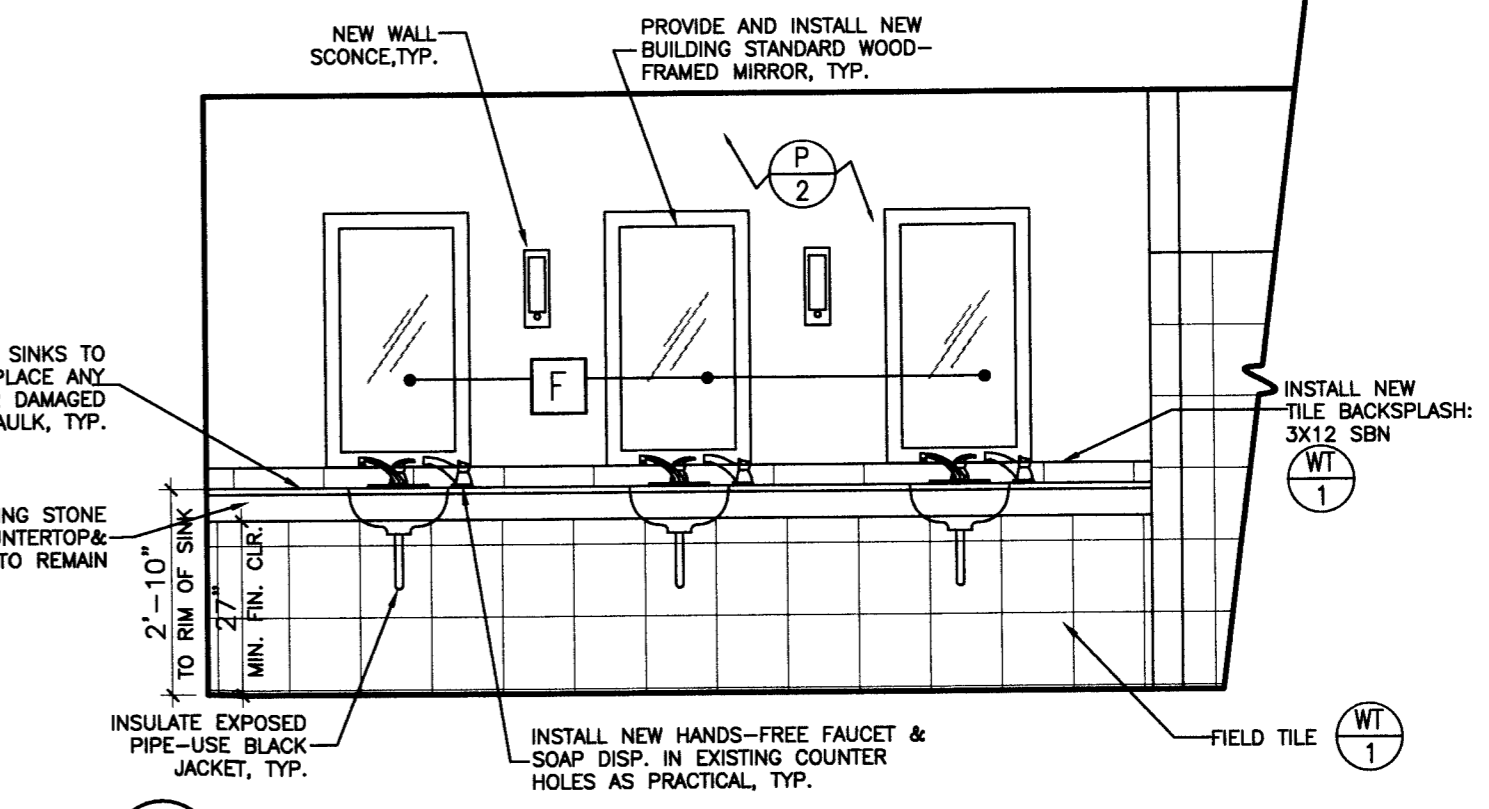
12 Women's Restroom #339 (#440 Sim)  
Scale: 3/8"=1'-0"



14 Men's Restroom #342 (#442 Sim)  
Scale: 3/8"=1'-0"



15 Men's Restroom #342 (#442 Sim)  
Scale: 3/8"=1'-0"



16 Men's Restroom #342 (#442 Sim)  
Scale: 3/8"=1'-0"

JPC ARCHITECTS

909 112th Avenue NE Suite 206  
Bellevue, WA 98004

Carillon Point B4000  
Floors 3 & 4  
4100 Carillon Pt.  
Kirkland, WA 98033

DESIGN JPC  
DRAWN AN/CB  
CHECKED AN  
NO. 13-0503

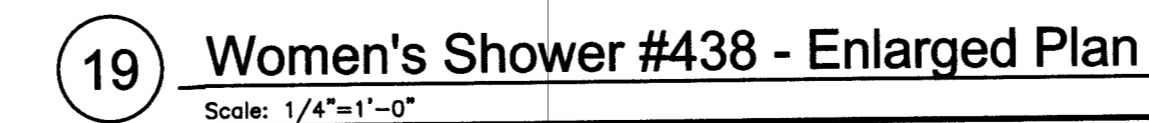
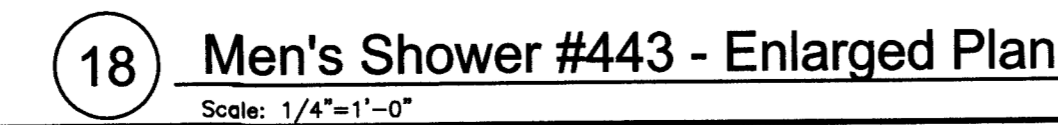
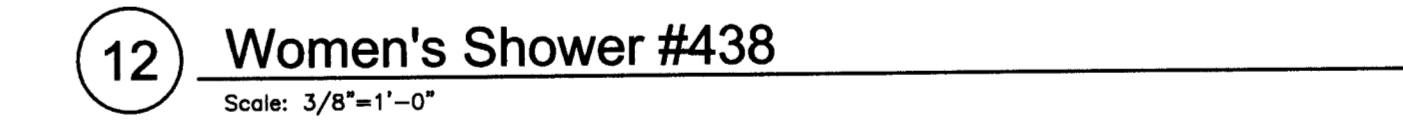
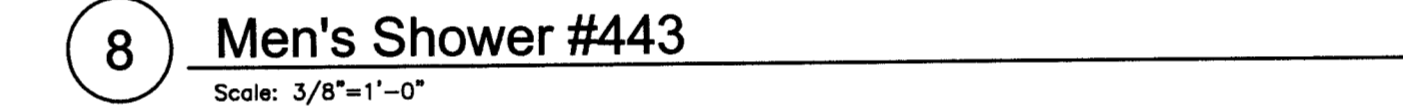
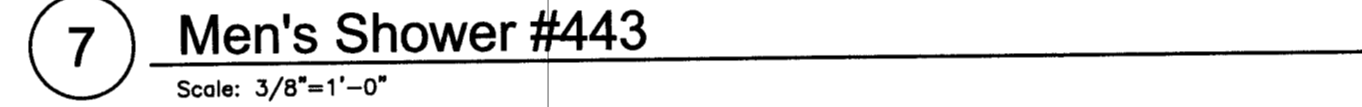
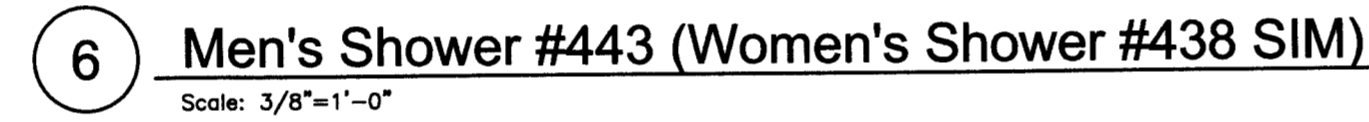
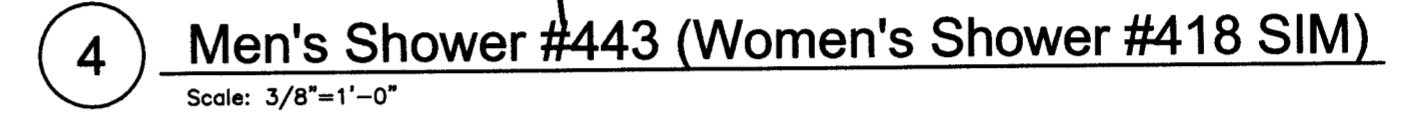
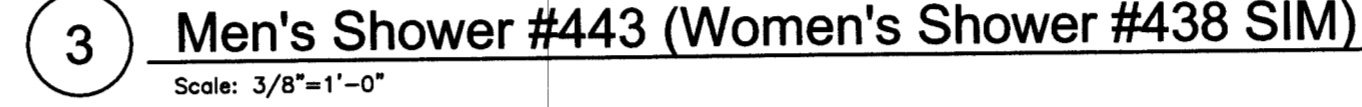
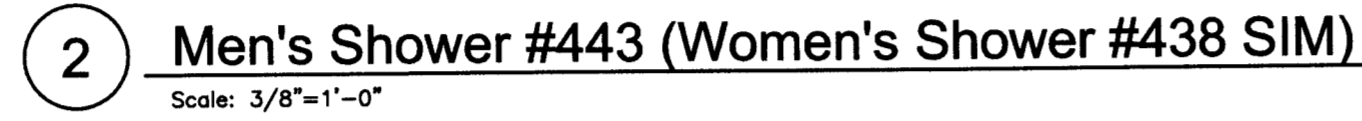
6283 REGISTERED ARCHITECT  
Charlotte Patterson  
STATE OF WASHINGTON

09.30.13	Progress Set
10.09.13	Permit / Bid Issue
10.22.13	ASI #1
11.25.13	ASI #2
12.17.13	CD Issue
12.20.13	ASI #3
01.09.14	ASI #4
01.29.14	ASI #5
02.20.14	Permit Revision

Interior Elevations

I-8.1

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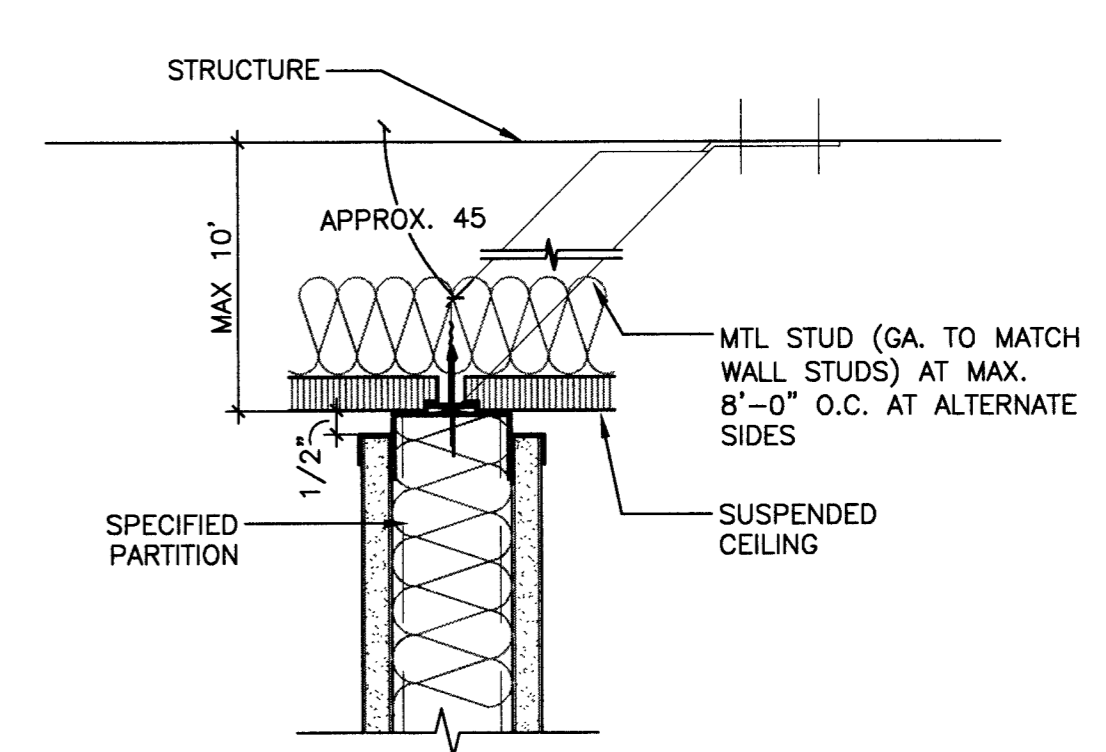
33 mil STUDS (20 GA)			
STUD SIZE	STUD SPACING	LIMITING WALL	HEIGHT
		NON-COMPOSITE	COMPOSITE-note
162S125 (1-5/8")	12"	9'-6"	10'-4"
	16"	8'-7"	9'-8"
	24"	7'-6"	8'-9"
250S125 (2-1/2")	12"	13'-2"	13'-11"
	16"	11'-11"	12'-10"
	24"	10'-5"	11'-7"
362S125 3-5/8"	12"	17'-1"	17'-10"
	16"	15'-6"	16'-5"
	24"	13'-6"	14'-9"
400S125 (4")	12"	18'-11"	19'-11"
	16"	17'-3"	18'-4"
	24"	15'-0"	16'-5"
600S125 (6")	12"	26'-3"	26'-9"
	16"	23'-11"	24'-6"
	24"	20'-10"	21'-7"

Diagram illustrating the construction of a fire-rated wall assembly, showing the cross-section and components:

- SHIM AS REQ'D, SECURE TO GRID
- INSULATION TO EXTEND 2'-0" BEYOND EACH SIDE OF WALL AS NOTED BELOW
- CEILING AS SPECIFIED
- PAINT REVEAL FLAT BLACK OR TAPED BLACK (MATCH EXISTING CONDITION)
- INSULATION AS NOTED BELOW
- ONE LAYER 5/8" GWB EACH SIDE OF WALL
- MTL. STUDS - WIDTH, GA. & SPACING AS NOTED BELOW
- CONT. MTL. RUNNER MECHANICALLY FASTENED TO SUB-FLOOR WITH STEEL NAILS EVERY 24" O.C. WITH AN EMBED. DEPTH OF 1/2", 3/4" AT PT SLAB
- SPECIFIED BASE
- FINISHED FLOOR
- 1/8" FOAM TAPE

4  
1-9.1

WALL TYPE	WALL HT.	STUD SIZE	STUD THICKNESS	STUD SPACING	WALL THICKNESS		INSULATION		FIRE RATING/ UL DESIGN NO.	COMMENTS
					WALL	CEILING	WALL	CEILING		
A	8'-3" (VERIFY)	2 1/2"	25 GAUGE	24" O.C.	3 3/4"		SB	SB	-	REF. 4/1-9.1 FOR BRACING
*SB= SOUND ATTENUATION BATTS										FR= FIRE RESISTIVE



4  
1-9.1

SHIM AS REQ'D, SECURE TO GRID

INSULATION TO EXTEND 2'-0" BEYOND EACH SIDE OF WALL AS NOTED BELOW

CEILING AS SPECIFIED

1/2"

PAIN REVEAL FLAT BLACK OR TAPED BLACK

INSULATION AS NOTED BELOW

ONE LAYER 5/8" GWB EACH SIDE OF WALL

MTL STUDS - WIDTH, GA. & SPACING AS NOTED BELOW

CONT. MTL. RUNNER MECHANICALLY FASTENED TO SUB-FLOOR WITH STEEL NAILS EVERY 24" O.C. WITH AN EMBED. DEPTH OF 1/2", 3/4" @ PT SLAB

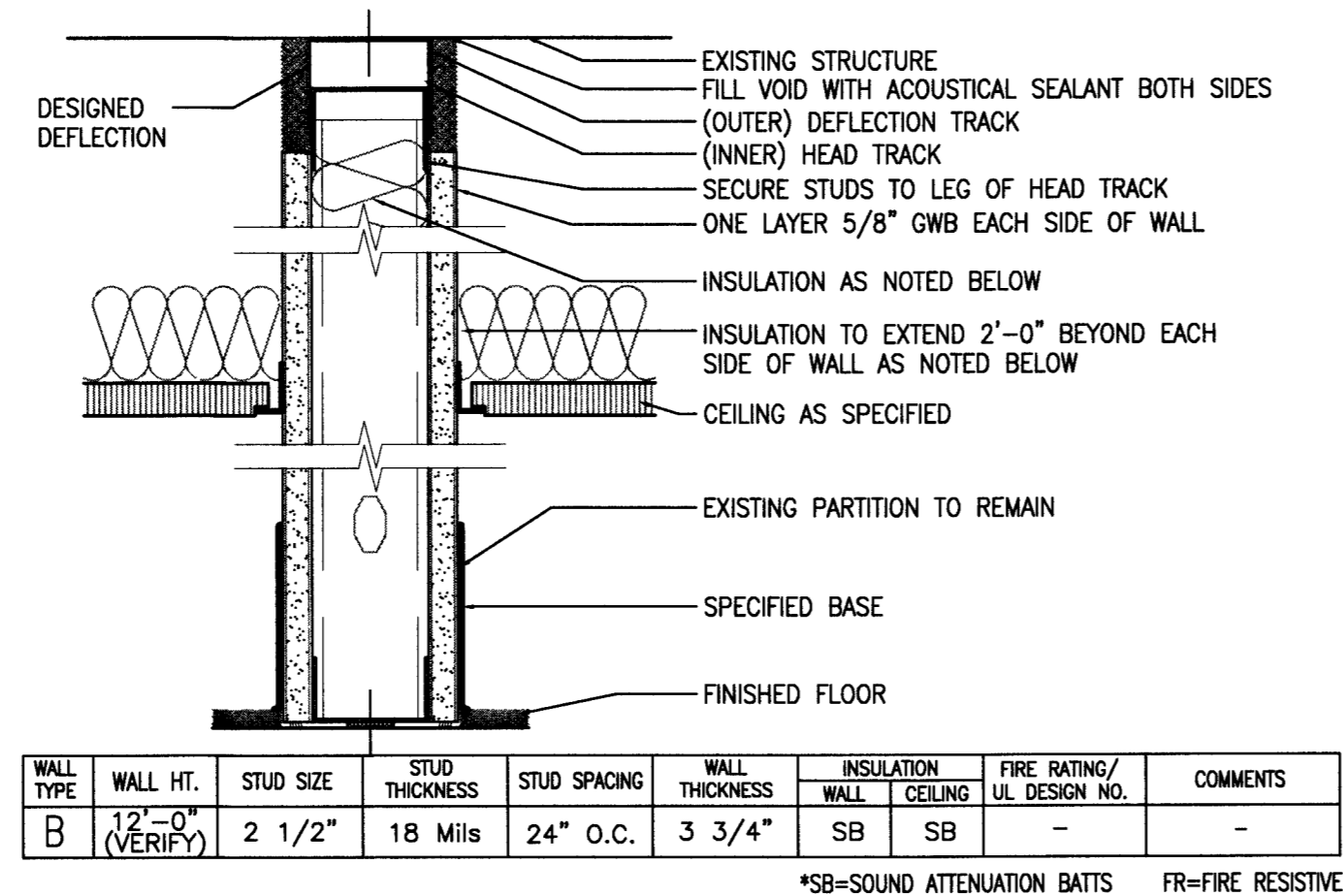
SPECIFIED BASE

FINISHED FLOOR

1/8" FOAM TAPE

WALL TYPE	WALL HT.	STUD SIZE	STUD THICKNESS	STUD SPACING	WALL THICKNESS	INSULATION		FIRE RATING/UL DESIGN NO.	COMMENTS
						WALL	CEILING		
C	8'-6" (VERIFY)	3 5/8"	30 Mils	24" O.C.	4 7/8"	SB	SB	-	REF. 4/-9.1 FOR BRACING

\*SB= SOUND ATTENUATION BATTS      FR= FIRE RESISTIVE



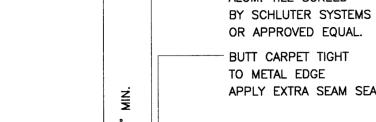
DO NOT SECURE PARTITION TO GLAZING SYSTEM, ATTACH AT WALL ABOVE AND BELOW GLAZING

BOX STUD TO CONFORM TO SITE CONDITIONS

LINE OF SILL (VARIES PER SITE CONDITION)

MTL. STUD ATTACHED TO VERTICAL MULLION W/ DOUBLE SIDED (STICKY) FOAM TAPE

1 1/2"



TILE  
 ALUM. TILE SCREED  
 BY SCHLUTER SYSTEMS  
 OR APPROVED EQUAL.  
 BUTT CARPET TIGHT  
 TO METAL EDGE  
 APPLY EXTRA SEAM SEALER  
 CARPET TILE  
 FEATHERING COMPOUND  
 TO 12"  
 CONC. FLOOR LEVELED  
 1/8" THINSET

A cross-sectional diagram of a carpet transition detail. The diagram shows a horizontal section of a floor. On the left, a carpet is shown with a hatched pattern. A metal profile, labeled 'SCHLUTER: RENO-U TRANSITION PROFILE - STAINLESS STEEL FINISH', is embedded in the carpet. To the right of the profile, the carpet continues. Below the carpet, a layer of 'FEATHERING COMPOUND TO 12"' is shown. The entire assembly is supported by a base layer, labeled 'VINYL/ VINYL TILE'. The diagram is labeled with '4' at three points along the base layer.

VINYL/ VINYL TILE

SCHLUTER: RENO-U  
TRANSITION PROFILE  
- STAINLESS STEEL  
FINISH

CARPET

FEATHERING  
COMPOUND TO 12"

EXISTING  
A.C.T. CEILING  
8'-9" A.F.F.  
(VIF)

ONE LAYER 5/8" GWB  
EACH SIDE OF WALL

1/2"

1/2" TEMPERED GLASS  
PANELS (3/4" WHERE  
HEIGHT REQUIRES)

MATCH EXISTIN ADJACENT  
METAL CHANNEL W/ CLEAR  
SEALANT

MATCH EXISTING ADJACENT  
METAL CHANNEL W/ CLEAR  
SEALANT

HANGER WIRE AT EACH PERIMETER MAIN TEE AND PERIMETER CROSS TEE

ARMSTRONG STABILIZER BAR OR OTHER SUITABLE SYSTEM TO KEEP PERIMETER COMPONENTS FROM SPREADING APART

8" MAX.

7/8"

TYPICAL WALL MouldING BY ARMSTRONG CEILING

TYPICAL HEAVY DUTY SUSPENDED CEILING GRID SYSTEM BY ARMSTRONG

CAT. D, E & F ATTACHED BERC2 BY ARMSTRONG CEILING

NO. 9 GA. LATERAL SUPPORT WIRE AT CORNER OF LIGHT FIXTURE. SPLAY WIRES AS SHOWN AND FASTEN TO BEAM OR PURLIN. MIN. OF 3 WIRE TURNS EACH. CONNECTION POINT

NO. 9 GA. LATERAL SUPPORT WIRE AT CENTER ENDS OF EA. FIXTURE. FIXTURE SUPPORT WIRE SUPPLIED BY CEILING CONTRACTOR

RECESSED FLUORESCENCE FIXTURE

CROSS TIE

MAIN STRUCTURAL

60° MAX. TYP.

45°

45°

NOTES:

1. LATERAL BRACING CLUSTER: (4) 12 GA. GALV. SOFT-ANNEALED MILD STEEL WIRES SECURED TO MAIN RUNNER WITHIN 2" OF CROSS "I" AND SPAYLED 90 DEGREES FROM EACH OTHER AT 45 DEGREES MAX. ABOVE HORIZONTAL. CLUSTERS PLACED 12"-0" O.C. MAX. AND 6'-0" MAX. FROM EACH WALL. WIRES SHOULD BE TAUT WITHOUT CAUSING CEILING TO LIFT.
2. SUSPENSION WIRE: 12 GA. GALV. SOFT-ANNEALED MILD STEEL WIRE ENCASED IN  $\frac{3}{4}$ " DIAM. CONDUIT. (FOR UPLIFT RESTRAINT); SECURE WIRE TO MAIN RUNNER WITHIN 2" OF CROSS "I". CONDUIT TO OCCUR AT EVERY LATERAL BRACING CLUSTER AND SUSPENSION WIRES TO OCCUR AT 4'-0" O.C. MAX. EACH WAY.

3 TURNS MIN.  
WITHIN 3" TYP.

NOTE #1

FASTEN RUNNERS TO PERIMETER WALL ANGLE AT (2) ADJACENT SIDES. PROVIDE MIN. 2" WIDE WALL ANGLE.

MAIN RUNNER, HEAVY DUTY

CROSS "I"

VIEW SHOWING LATERAL BRACING.

NOTE #2

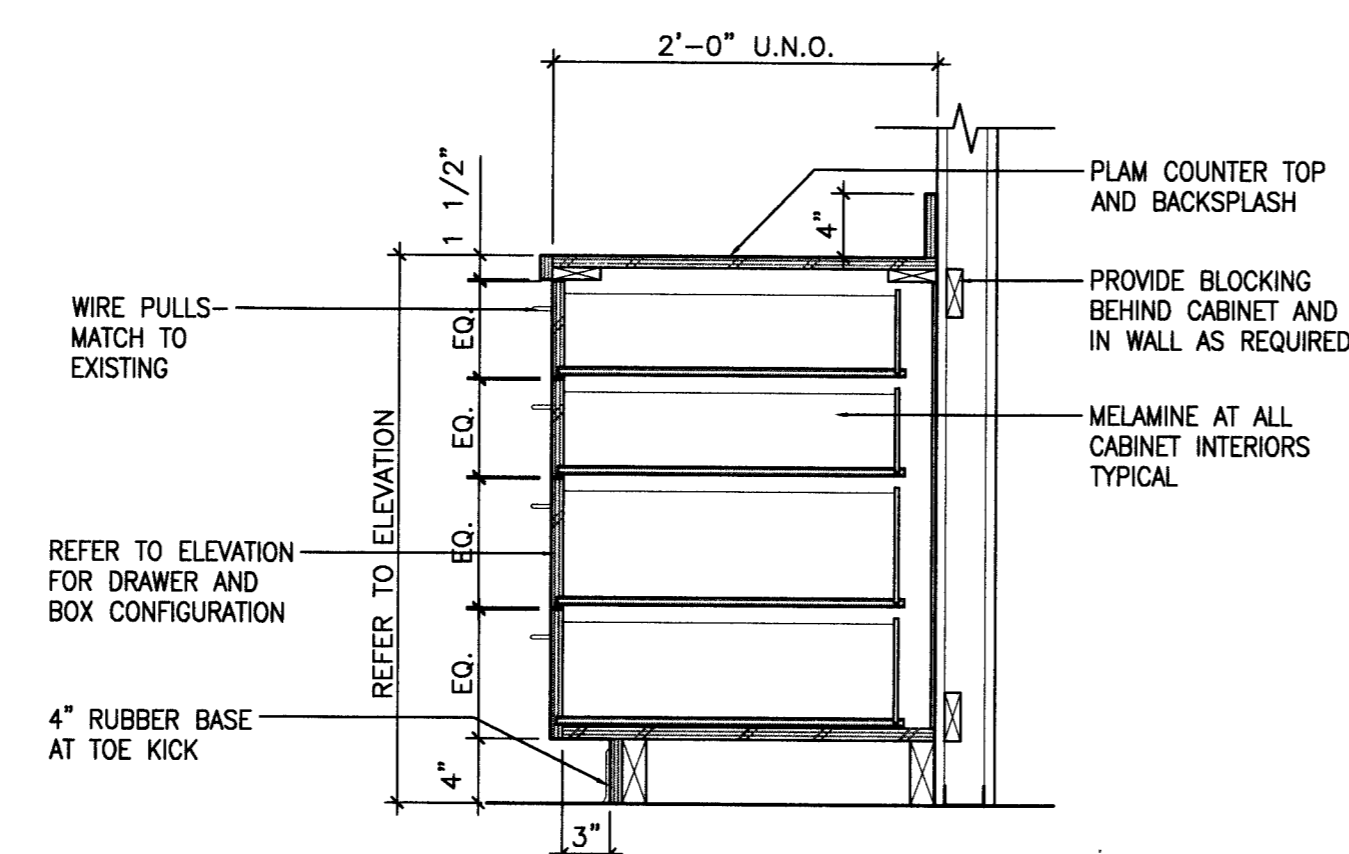
NOTE #1

45° MAX. TYP.

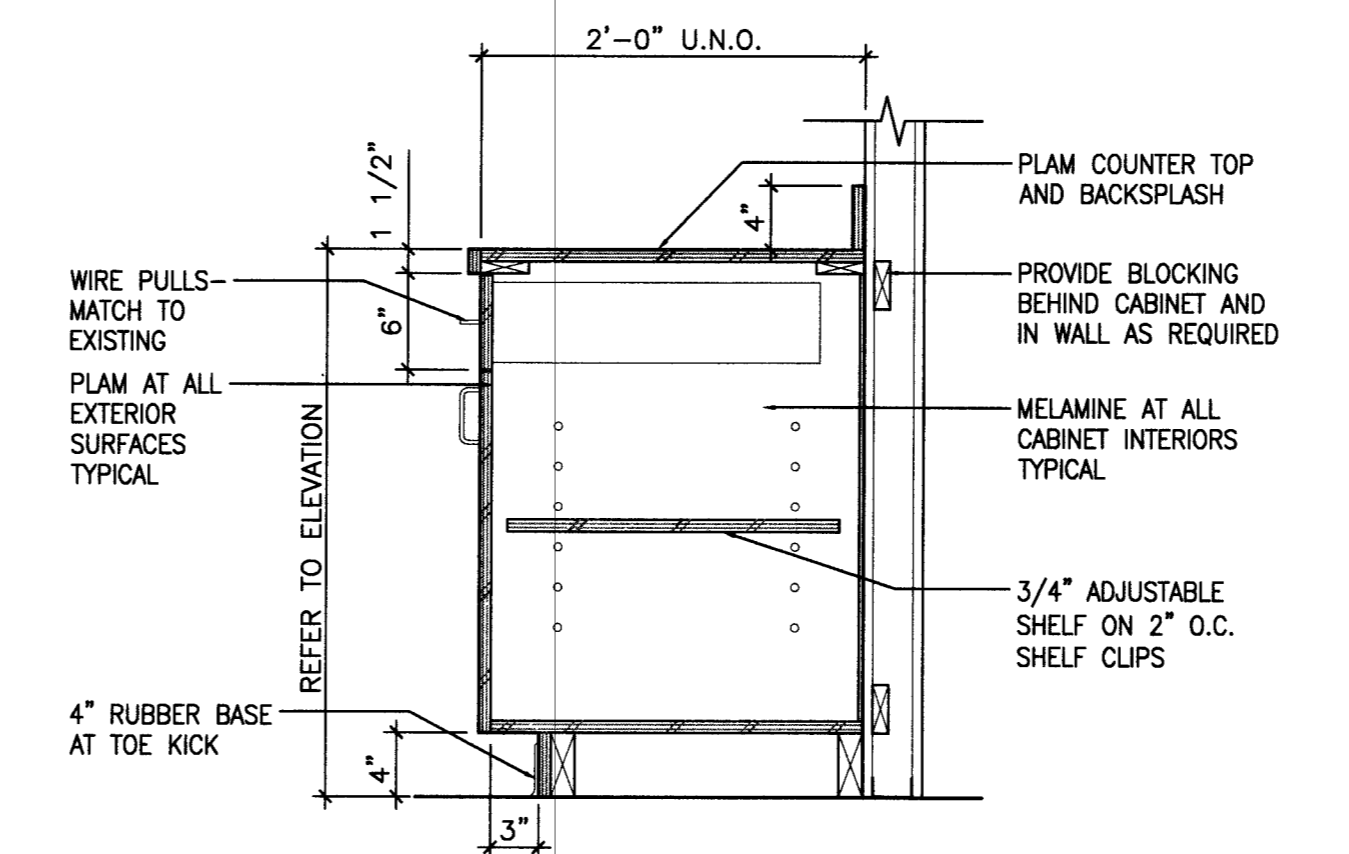
2" MAX. TYP.

RUNNER ENDS AT OPPOSITE WALLS TO FLOAT FREE ON PERIMETER ANGLE. PROVIDE 3/4" CLEARANCE BETWEEN ENDS OF

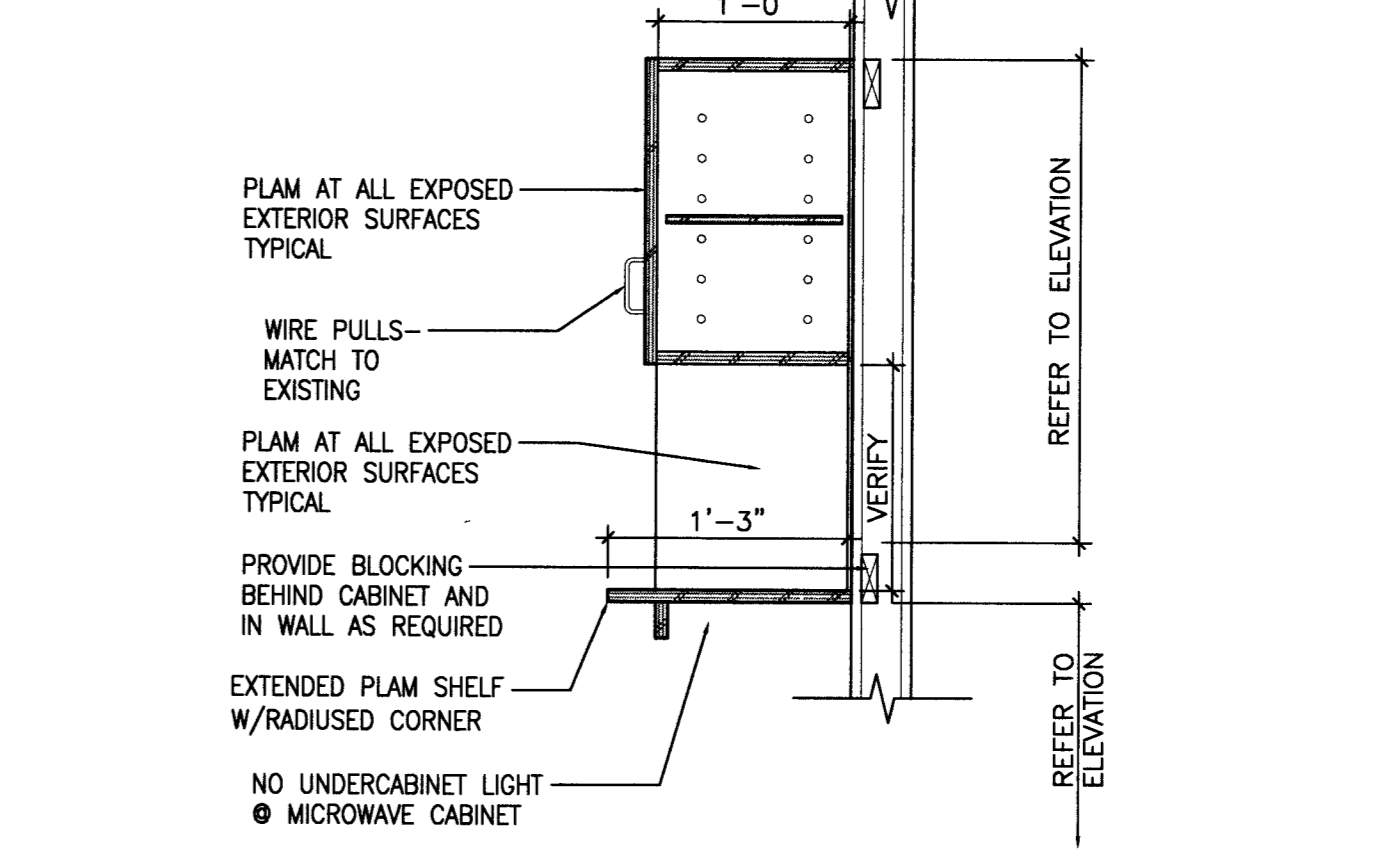
909 112th Avenue NE Suite 206  
Bellevue WA 98004



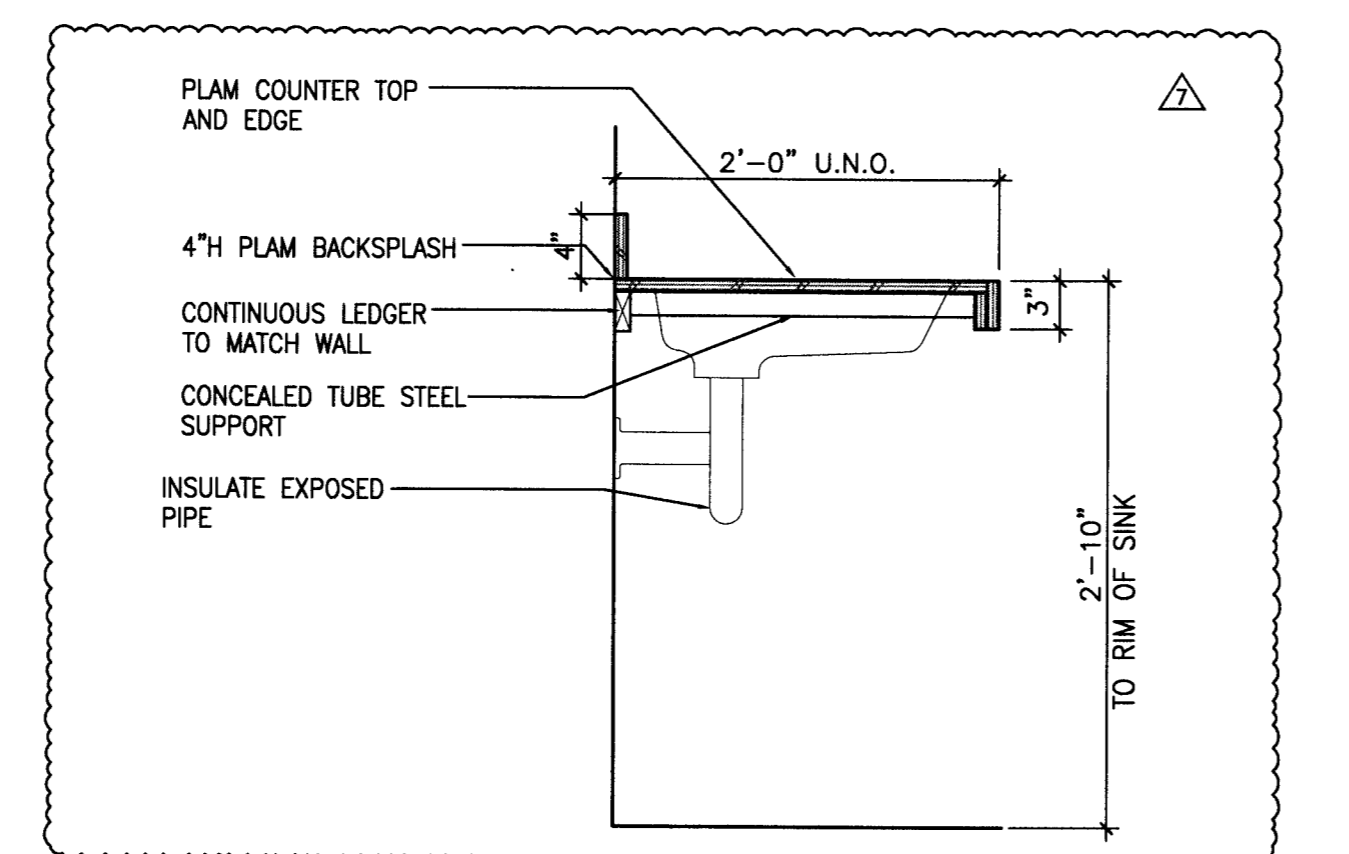
**3 Base Cabinet with Sink - ADA Side Approach**  
 Scale: 1"=1'-0"



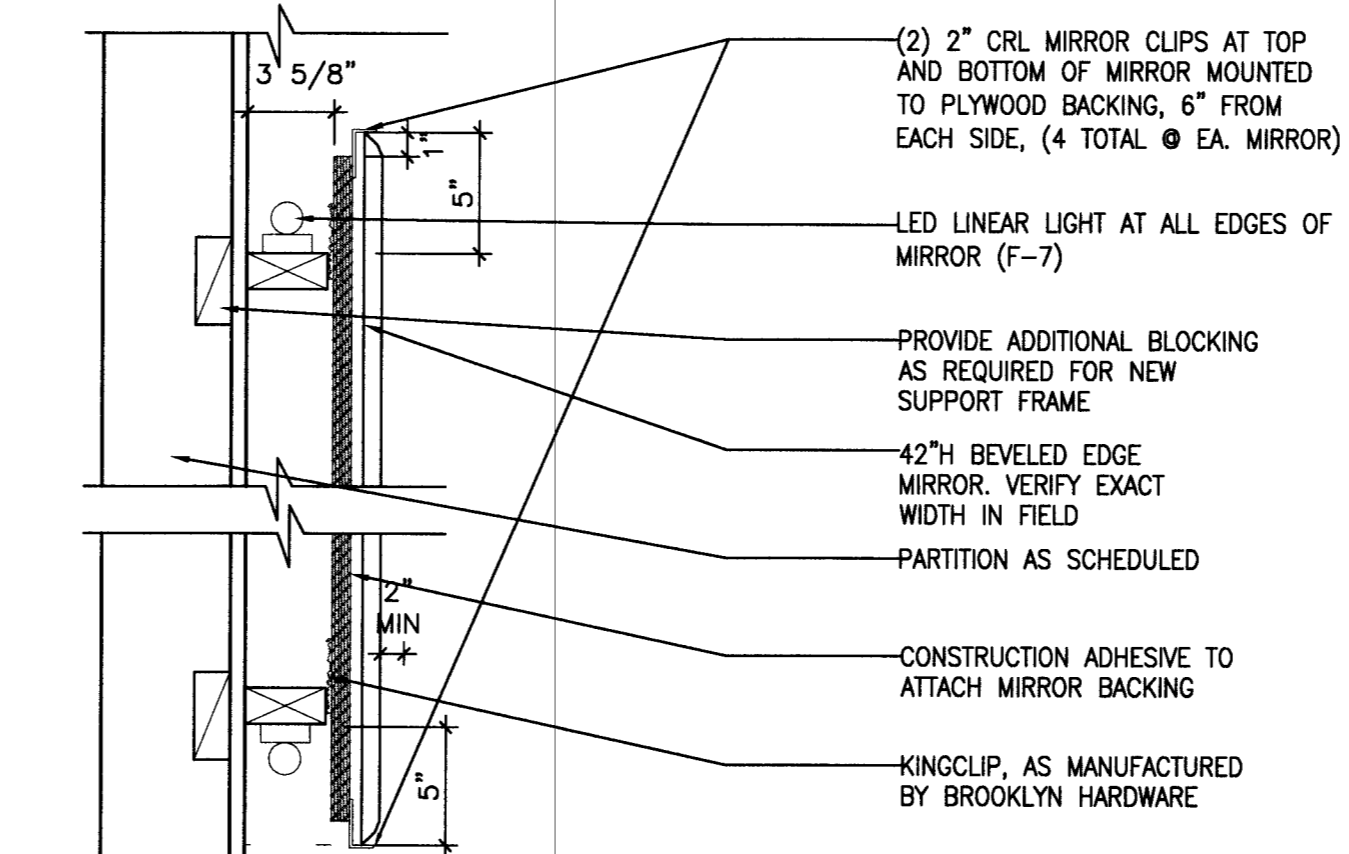
**4 Upper Cabinet with U.C. Lighting**  
 Scale: 1"=1'-0"



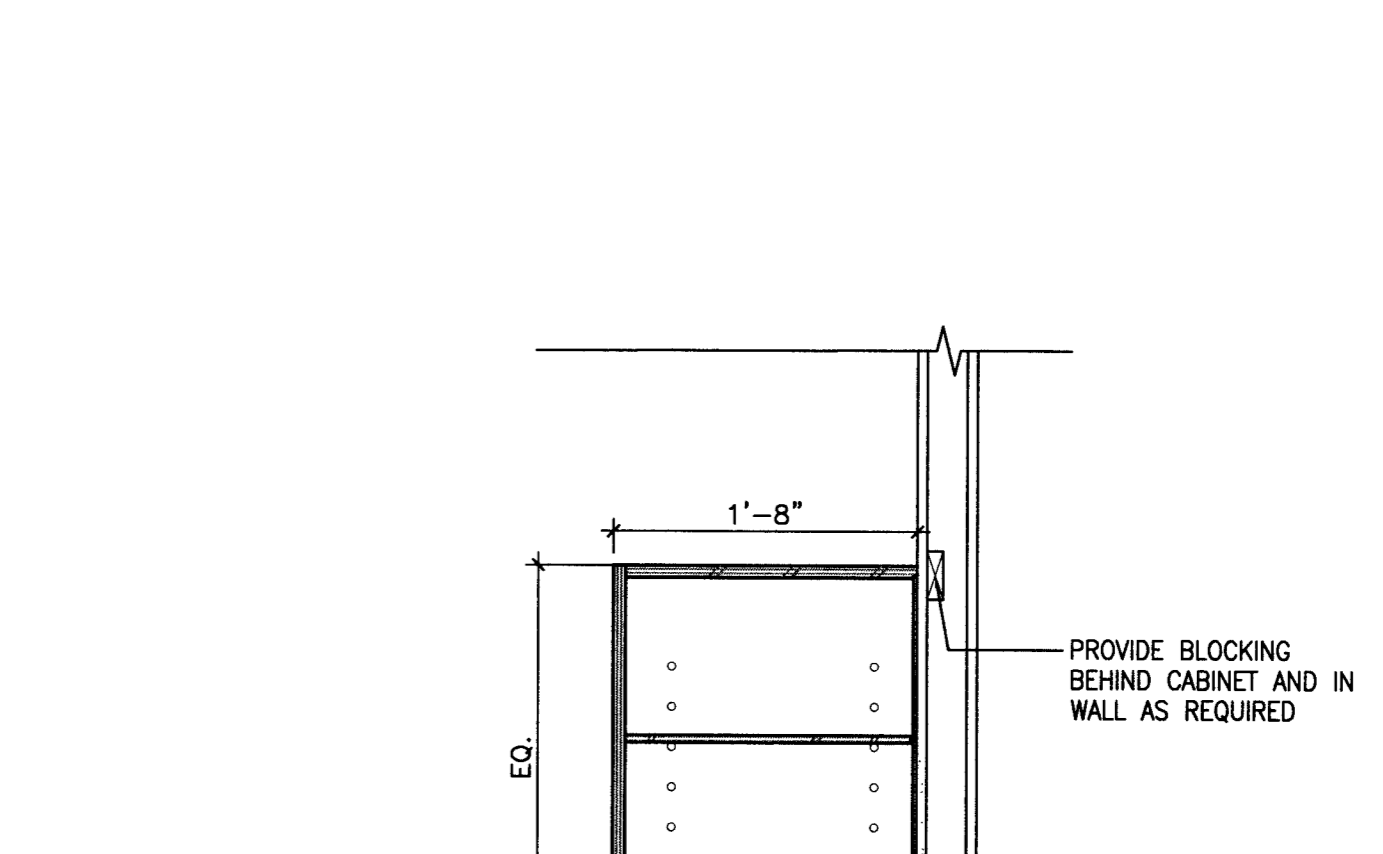
**6 Base Cabinet**  
 Scale: 1"=1'-0"



**7 Base Cabinet with Drawer**  
 Scale: 1"=1'-0"

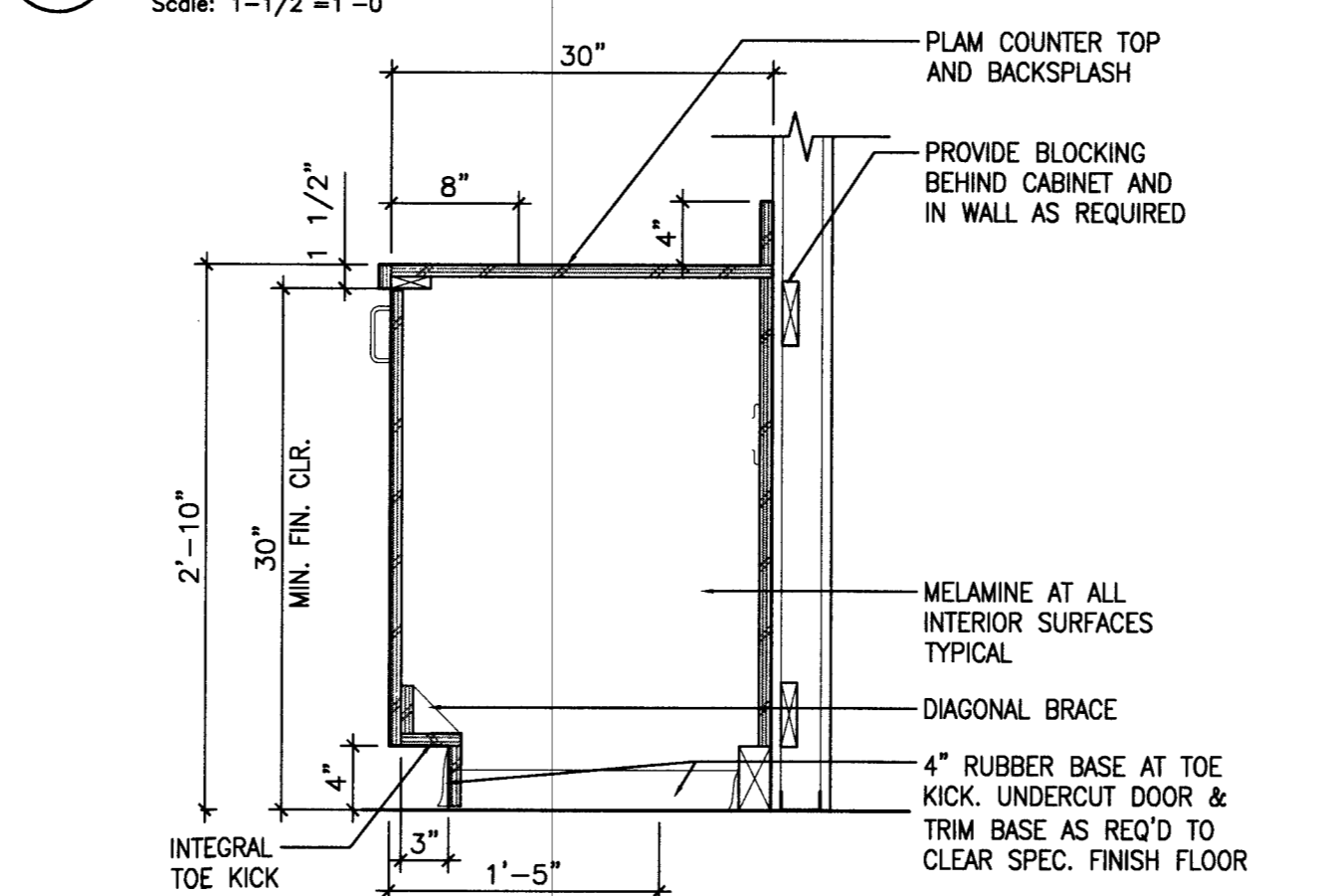


**8 Upper Cabinet W/Microwave Shelf & U.C. Lighting**  
 Scale: 1"=1'-0"

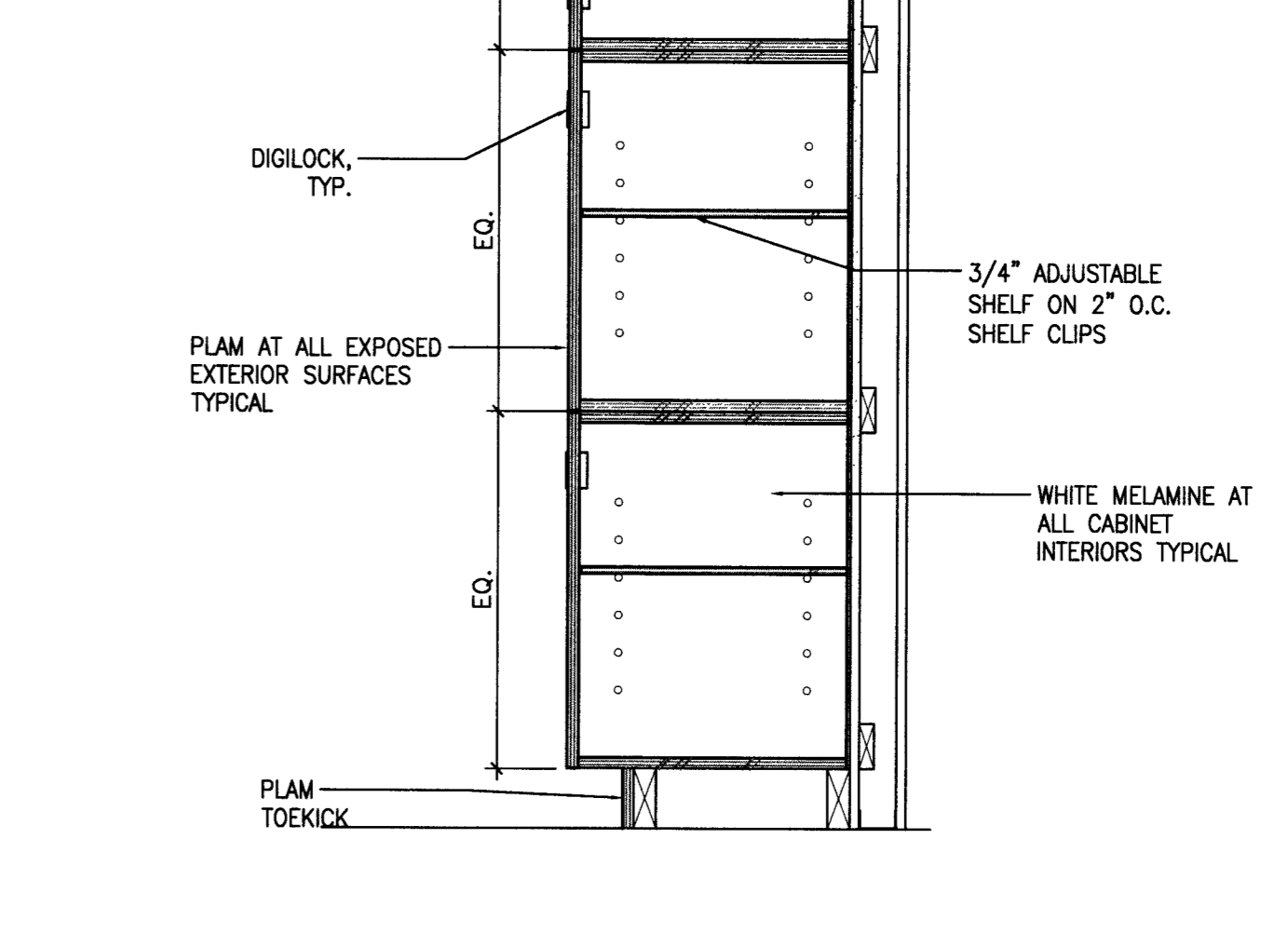


**10 ADA Sink Counter**  
 Scale: 1"=1'-0"

**11 Back-Lit Mirror Detail**  
 Scale: 1-1/2"=1'-0"

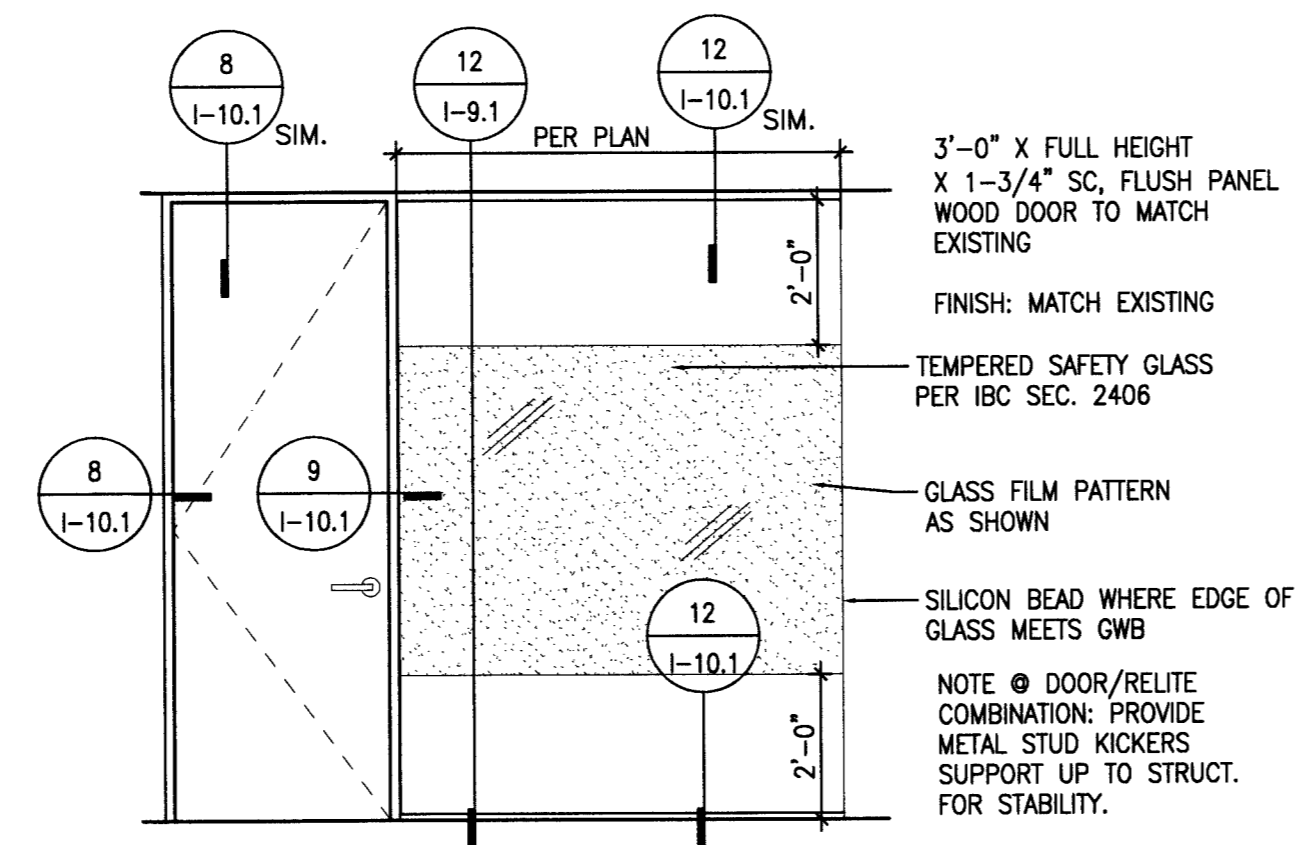


**15 Base Cabinet w/Integral Toekick**  
 Scale: 1"=1'-0"

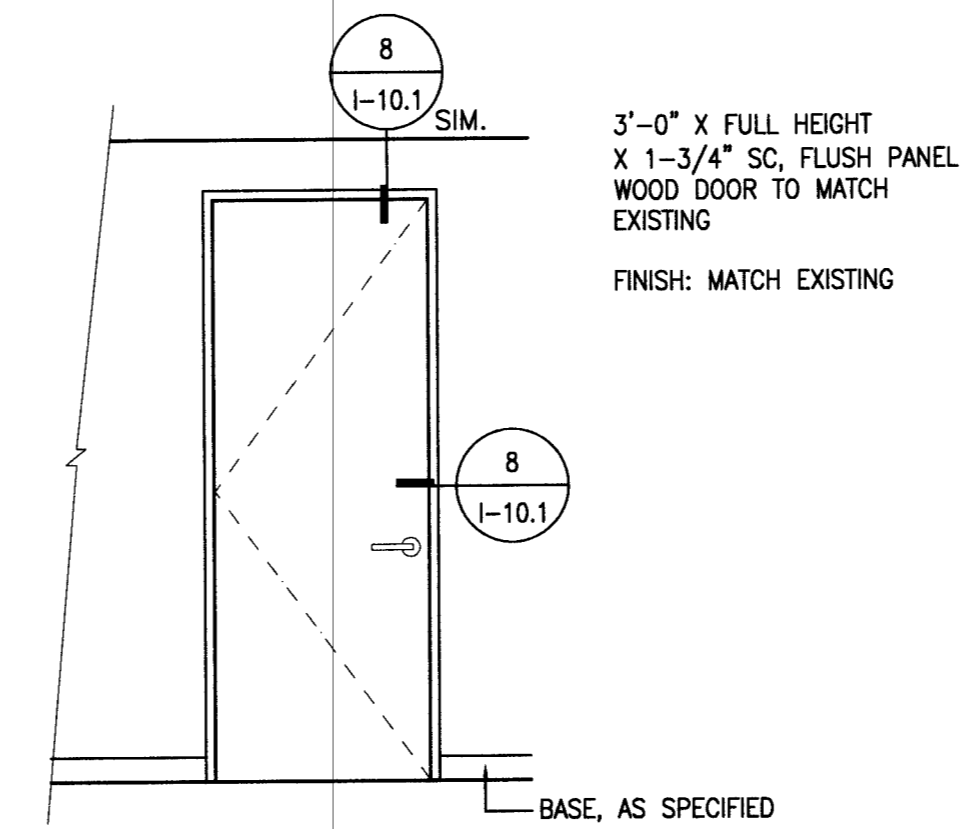


**16 Lockers at Shower Rooms**  
 Scale: 1"=1'-0"

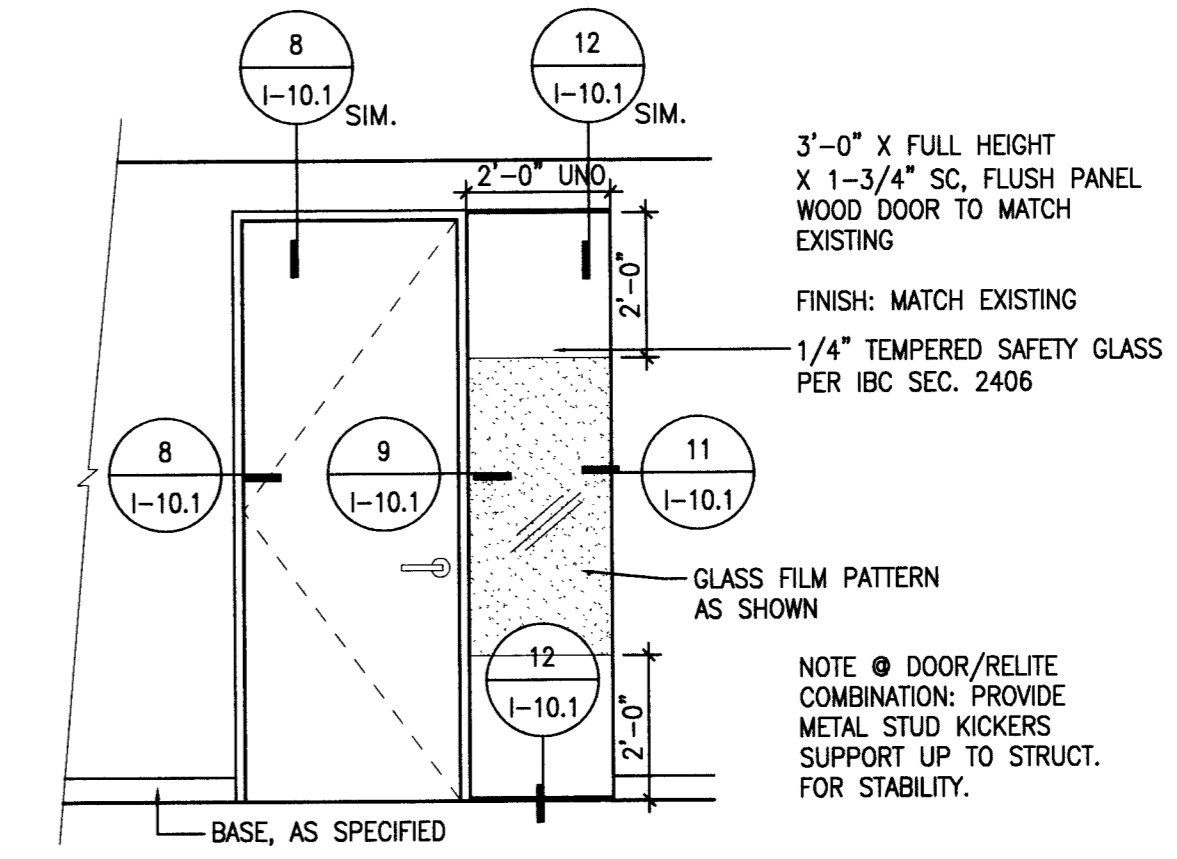
09.30.13	Progress Set
10.09.13	Permit / Bid Issue
10.22.13	ASI #1
11.25.13	ASI #2
12.17.13	CD Issue
12.20.13	ASI #3
01.09.14	ASI #4
01.29.14	ASI #5
02.20.14	Permit Revision



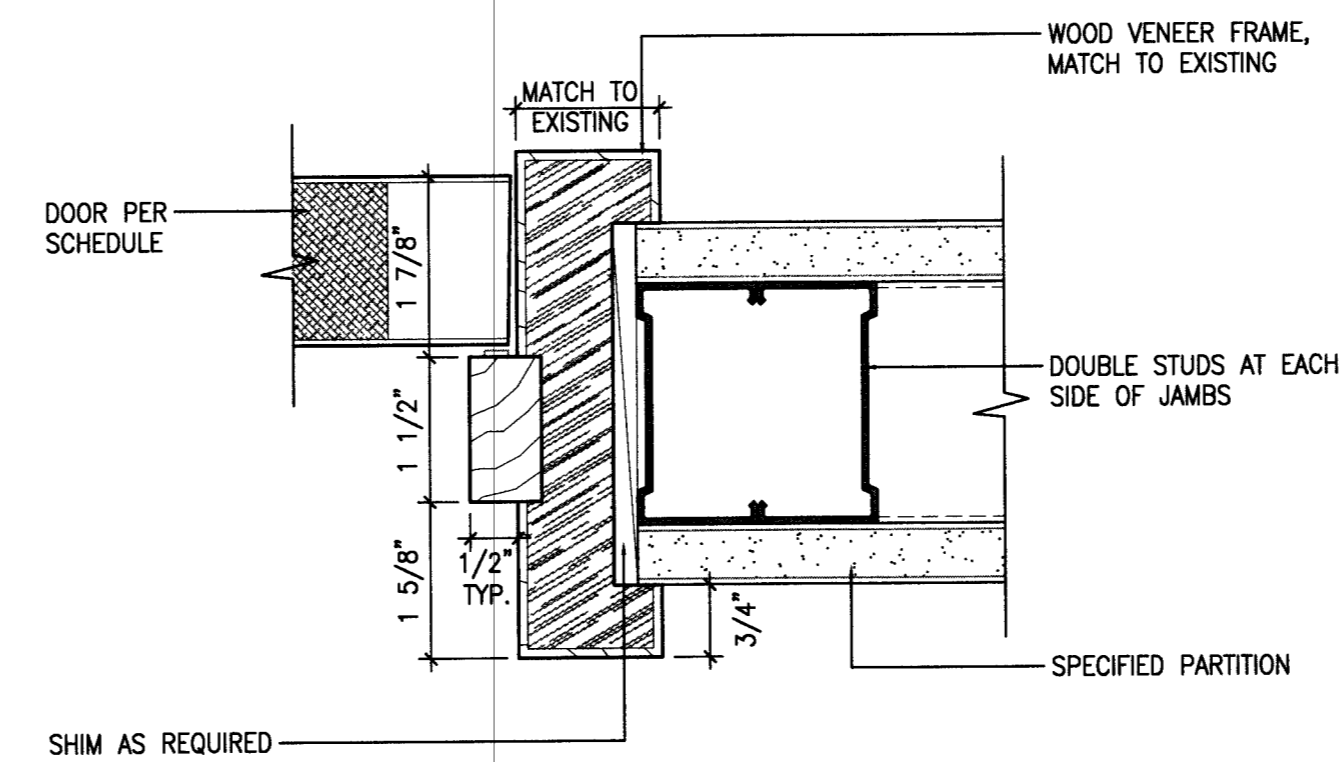
1 Door Type A  
Scale: 3/8"=1'-0"



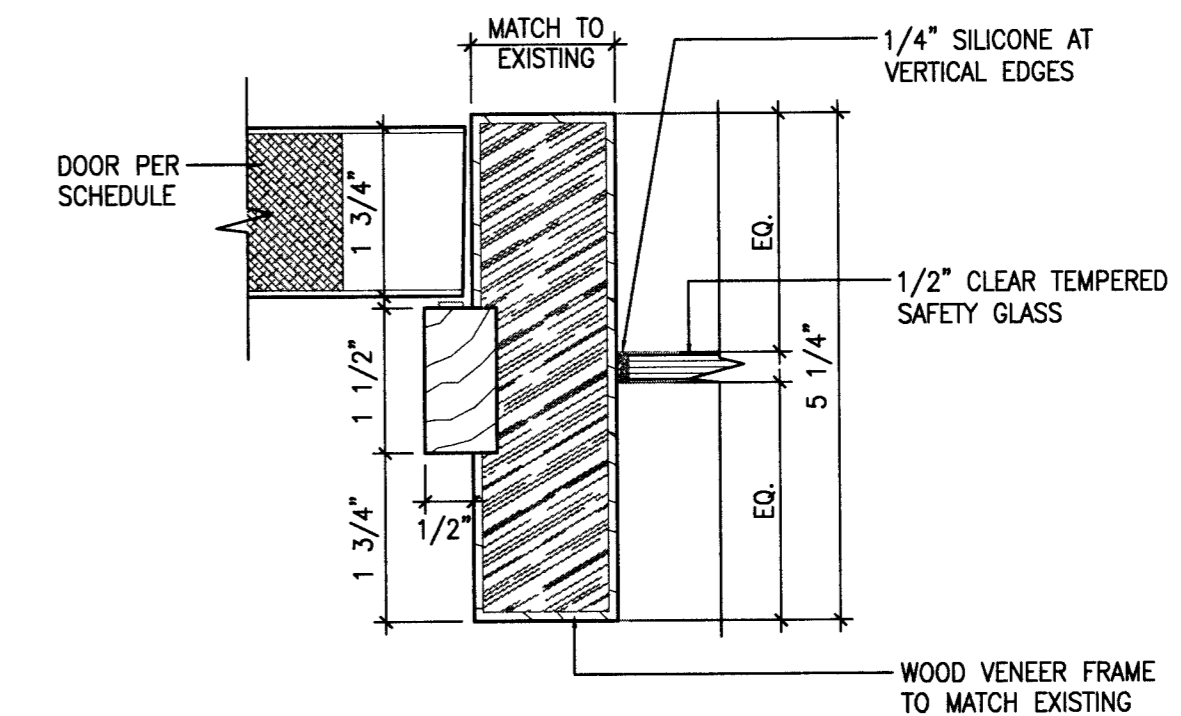
2 Door Type B  
Scale: 3/8"=1'-0"



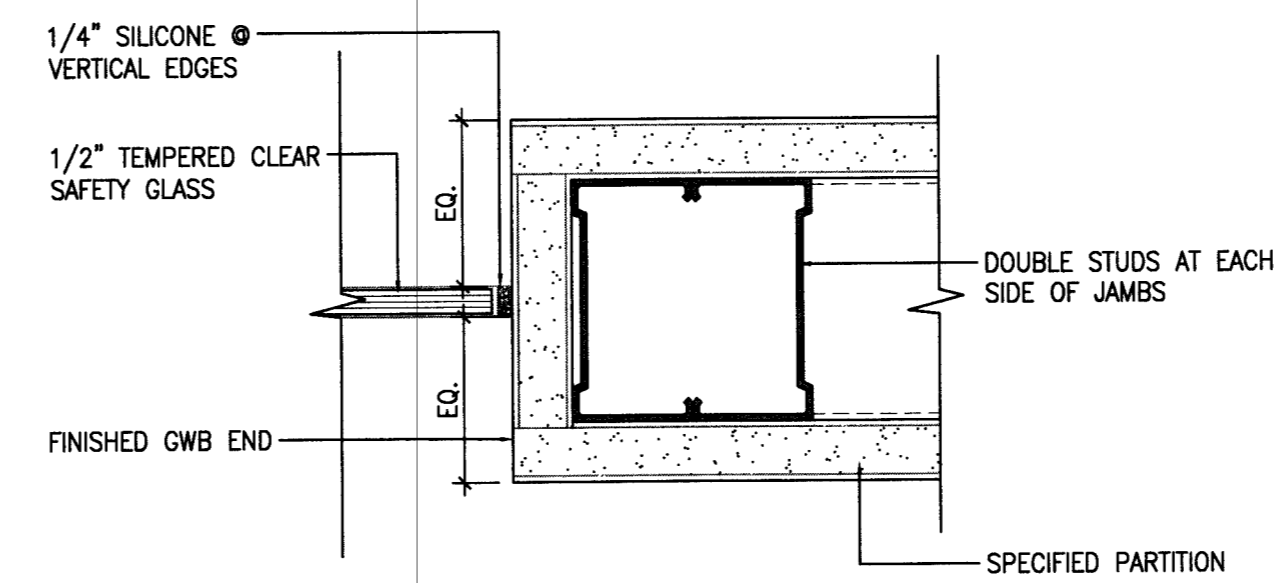
3 Door Type C  
Scale: 3/8" = 1'-0"



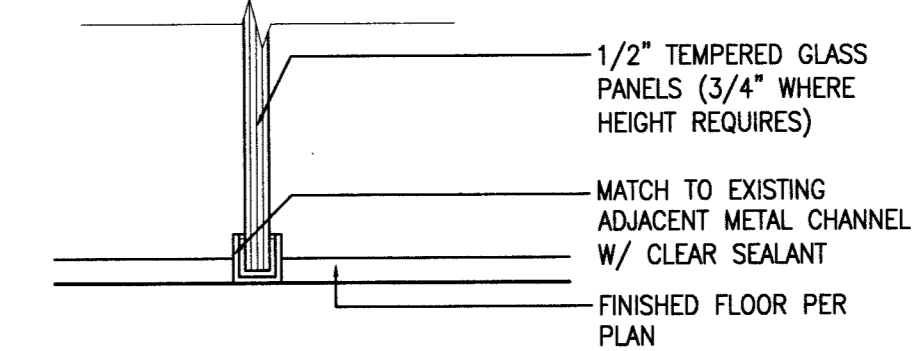
8 Door Jamb (Head Similar)  
Scale: 6"=1'-0"



**9 Door/Relite Jamb**  
Scale: 6"=1'-0"



**11 Relite Jamb**  
Scale: 6"=1'-0"



12 Glazing Sill (Head Similar)  
Scale: 3"=1'-0"

**Carillon Point B4000  
Floors 3 & 4  
4100 Carillon Pt.  
Kirkland, WA 98033**

DESIGN	JPC
DRAWN	AN/CB
CHECKED	AN
NO.	13-0503



09.30.13	Progress Set
10.09.13	Permit / Bid Issue
① 10.22.13	ASI #1
② 11.25.13	ASI #2
③ 12.17.13	CD Issue
④ 12.20.13	ASI #3
⑤ 01.09.14	ASI #4
⑥ 01.29.14	ASI #5
⑦ 02.20.14	Permit Revision

## Door Elevations & Details

## 1-10.1

NO.	TYPE	FRAME	HDWE	RATING	REMARKS	REVISION
300A	EXISTING	EXISTING	EXISTING			
300B	EXISTING	EXISTING	EXISTING			
302	EXISTING	EXISTING	EXISTING			
303	EXISTING	EXISTING	EXISTING			
304	EXISTING	EXISTING	EXISTING			
305	EXISTING	EXISTING	EXISTING			
309A	B	WD	HS-5		INSTALL CARD READER DEVICE	
309B	EXISTING	EXISTING	HS-5		INSTALL CARD READER DEVICE.	
311	EXISTING	EXISTING	EXISTING			
312	EXISTING	EXISTING	EXISTING			
313	EXISTING DBL DOORS	EXISTING	EXISTING			
314	B	WD	HS-1			
315	EXISTING	EXISTING	EXISTING			
316	EXISTING	EXISTING	EXISTING			
317	EXISTING	EXISTING	EXISTING			
318	A	WD	HS-1			
320	A	WD	HS-1			
322	EXISTING	EXISTING	EXISTING			
323	EXISTING	EXISTING	EXISTING			
324	EXISTING	EXISTING	EXISTING			
325	EXISTING DBL DOORS	EXISTING	EXISTING			
327	EXISTING	EXISTING	EXISTING			
328	EXISTING	EXISTING	EXISTING			
329	EXISTING	EXISTING	EXISTING			
330	EXISTING	EXISTING	EXISTING			
331	B	WD	HS-1			
332	EXISTING	EXISTING	EXISTING			
333	EXISTING	EXISTING	EXISTING		MODIFY AS REQ'D TO RECEIVE CARD READER DEVICE.	
334	EXISTING	EXISTING	EXISTING		MODIFY AS REQ'D TO RECEIVE CARD READER DEVICE.	
335	EXISTING	EXISTING	EXISTING			
336	A	WD	HS-1			
337	EXISTING	EXISTING	EXISTING			
338	EXISTING	EXISTING	EXISTING			
339A	EXISTING	EXISTING	EXISTING			
339B	EXISTING	EXISTING	EXISTING			
339C	EXISTING	EXISTING	EXISTING			
340A	EXISTING DBL DOORS	EXISTING	EXISTING		MODIFY AS REQ'D TO RECEIVE CARD READER DEVICE.	
340B	EXISTING DBL DOORS	EXISTING	EXISTING		MODIFY AS REQ'D TO RECEIVE CARD READER DEVICE.	
342A	EXISTING	EXISTING	EXISTING			
342B	EXISTING	EXISTING	EXISTING			
350A	EXISTING	EXISTING	EXISTING		MODIFY AS REQ'D TO RECEIVE CARD READER DEVICE.	
350B	EXISTING	EXISTING	EXISTING		MODIFY AS REQ'D TO RECEIVE CARD READER DEVICE.	
400	C	WD	HS-2		INSTALL CARD READER DEVICE.	
400A	EXISTING DBL DOORS	EXISTING	EXISTING			
400B	EXISTING DBL DOORS	EXISTING	EXISTING			
401A	C	WD	HS-3			

401B	C	WD	HS-3			
402	EXISTING	EXISTING	EXISTING			
403	EXISTING	EXISTING	EXISTING			
404	EXISTING	EXISTING	EXISTING			
405	EXISTING	EXISTING	EXISTING			
406	B	WD	HS-6		INSTALL CARD READER DEVICE.	
408A	B	WD	HS-6		INSTALL CARD READER DEVICE.	
408B	B	WD	HS-6		INSTALL CARD READER DEVICE.	
410	B	WD	HS-2		INSTALL CARD READER DEVICE.	
411	EXISTING	EXISTING	EXISTING			
412	EXISTING	EXISTING	EXISTING			
413	EXISTING	EXISTING	EXISTING			
414	A	WD	HS-1			
416	EXISTING	EXISTING	EXISTING			
417	EXISTING	EXISTING	EXISTING			
418	EXISTING	EXISTING	EXISTING			
421	EXISTING	EXISTING	EXISTING			
422	EXISTING	EXISTING	EXISTING			
423	EXISTING	EXISTING	EXISTING			
424	EXISTING	EXISTING	EXISTING			
425	EXISTING	EXISTING	EXISTING			
429	EXISTING	EXISTING	EXISTING		MODIFY AS REQ'D TO RECEIVE CARD READER DEVICE.	
430A	EXISTING	EXISTING	EXISTING			
430B	EXISTING	EXISTING	EXISTING			
431	EXISTING	EXISTING	EXISTING		MODIFY AS REQ'D TO RECEIVE CARD READER DEVICE.	
432	EXISTING	EXISTING	EXISTING			
433	B	WD	HS-1			
434	EXISTING	EXISTING	EXISTING			
435	EXISTING	EXISTING	EXISTING			
436	EXISTING	EXISTING	HS-4			
437	EXISTING	EXISTING	EXISTING			
438A	B	WD	HS-3		INSTALL KICKPLATE TO MATCH HARDWARE FINISH	
438B	B	WD	HS-3		INSTALL KICKPLATE TO MATCH HARDWARE FINISH	
440A	EXISTING	EXISTING	EXISTING			
440B	EXISTING	EXISTING	EXISTING			
440C	EXISTING	EXISTING	EXISTING			
442A	EXISTING	EXISTING	EXISTING			
442B	EXISTING	EXISTING	EXISTING			
443A	B	WD	HS-3		INSTALL KICKPLATE TO MATCH HARDWARE FINISH.	
443B	B	WD	HS-3		INSTALL KICKPLATE TO MATCH HARDWARE FINISH.	
444	B	WD	HS-1			
445	EXISTING DBL DOORS	EXISTING	EXISTING			
446	EXISTING	EXISTING	EXISTING		MODIFY AS REQ'D TO RECEIVE CARD READER DEVICE.	
450A	EXISTING	EXISTING	EXISTING		MODIFY AS REQ'D TO RECEIVE CARD READER DEVICE.	
450B	EXISTING	EXISTING	EXISTING		MODIFY AS REQ'D TO RECEIVE CARD READER DEVICE.	

<p><u>HS-1 SINGLE NON-RATED DOOR WITH LATCHSET</u></p> <p>QTY 2 PAIR - BUTT HINGES          QTY 1 - LEVER LATCHSET          QTY 1 - BLDG STD. DOOR STOP          QTY 1 SET - SILENCERS</p>	<p><u>HS-2 SINGLE NON-RATED DOOR WITH CARD READER</u></p> <p>QTY 2 PAIR - BUTT HINGES          QTY 1 - LEVER LOCKSET          QTY 1 - SURFACE MTD. CLOSER          QTY 1 - ELECTRIC STRIKE          QTY 1 - BLDG STD. DOOR STOP          QTY 1 SET - SILENCERS</p>
<p><u>HS-3 SINGLE NON-RATED LATCHING DOOR W/ CLOSER</u></p> <p>QTY 2 PAIR - BUTT HINGES          QTY 1 - LEVER LATCHSET          QTY 1 - SURFACE MTD. CLOSER          QTY 1 - BLDG STD. DOOR STOP          QTY 1 SET - SILENCERS</p>	<p><u>HS-4 SINGLE NON-RATED DOOR WITH LOCKSET</u></p> <p>QTY 2 PAIR - BUTT HINGES          QTY 1 - LEVER LOCKSET          QTY 1 - BLDG STD. DOOR STOP          QTY 1 SET - SILENCERS</p>
<p><u>HS-5 SINGLE NON-RATED LATCHING DOOR W/ PANIC HARDWARE</u></p> <p>QTY 2 PAIR - BUTT HINGES          QTY 1 - PANIC PUSH-BAR &amp; LEVER LATCHSET          QTY 1 - SURFACE MTD. CLOSER          QTY 1 - BLDG STD. DOOR STOP          QTY 1 SET - SILENCERS</p>	<p><u>HS-6 SINGLE NON-RATED LATCHING DOOR W/ PANIC HARDWARE &amp; CARD READER</u></p> <p>QTY 2 PAIR - BUTT HINGES          QTY 1 - PANIC PUSH-BAR &amp; LEVER LATCHSET          QTY 1 - SURFACE MTD. CLOSER          QTY 1 - ELECTRIC STRIKE          QTY 1 - BLDG STD. DOOR STOP          QTY 1 SET - SILENCERS</p>

**Carillon Point B4000  
Floors 3 & 4  
4100 Carillon Pt.  
Kirkland, WA 98033**

DESIGN	JPC
DRAWN	AN/CB
CHECKED	AN
NO.	13-0503

6283 REGISTERED ARCHITECT  
CHARLOTTE PATTERSON  
STATE OF WASHINGTON

09.30.13	Progress Set
10.09.13	Permit / Bid Issue
① 10.22.13	ASI #1
② 11.25.13	ASI #2
③ 12.17.13	CD Issue
④ 12.20.13	ASI #3
⑤ 01.09.14	ASI #4
⑥ 01.29.14	ASI #5
⑦ 02.20.14	Permit Revision

## Door Schedule and Hardware

# I-10.2

Handwritten signature or initials.

REVIEWED  
FEB 26 2014  
CITY OF KIRKLAND  
FIRE / BLDG

Handwritten note in a cloud shape: "Bldg Dept Copy File"

REVISION  
RECEIVED  
FEB 24 2014  
PERM: BUR13-06085  
EXD

Bld

Door Schedule:						
NO.	TYPE	FRAME	HDWE	RATING	REMARKS	REVISION
300A	EXISTING	EXISTING	EXISTING			
300B	EXISTING	EXISTING	EXISTING			
302	EXISTING	EXISTING	EXISTING			
303	EXISTING	EXISTING	EXISTING			
304	EXISTING	EXISTING	EXISTING			
305	EXISTING	EXISTING	EXISTING			
309A	B	WD	HS-5		INSTALL CARD READER DEVICE	
309B	B	WD	HS-5		INSTALL CARD READER DEVICE.	
311	EXISTING	EXISTING	EXISTING			
312	EXISTING	EXISTING	EXISTING			
313	EXISTING DBL DOORS	EXISTING	EXISTING			
314	B	WD	HS-1			
315	EXISTING	EXISTING	EXISTING			
316	EXISTING	EXISTING	EXISTING			
317	EXISTING	EXISTING	EXISTING			
318	A	WD	HS-1			
320	A	WD	HS-1			
322	EXISTING	EXISTING	EXISTING			
323	EXISTING	EXISTING	EXISTING			
324	EXISTING	EXISTING	EXISTING			
325	EXISTING DBL DOORS	EXISTING	EXISTING			
327	EXISTING	EXISTING	EXISTING			
328	EXISTING	EXISTING	EXISTING			
329	EXISTING	EXISTING	EXISTING			
330	EXISTING	EXISTING	EXISTING			
331	B	WD	HS-1			
332	EXISTING	EXISTING	EXISTING			
333	EXISTING	EXISTING	EXISTING		MODIFY AS REQ'D TO RECEIVE CARD READER DEVICE.	
334	EXISTING	EXISTING	EXISTING		MODIFY AS REQ'D TO RECEIVE CARD READER DEVICE.	
335	EXISTING	EXISTING	EXISTING			
336	A	WD	HS-1			
337	EXISTING	EXISTING	EXISTING			
338	EXISTING	EXISTING	EXISTING			
339A	EXISTING	EXISTING	EXISTING			
339B	EXISTING	EXISTING	EXISTING			
339C	EXISTING	EXISTING	EXISTING			
340A	EXISTING DBL DOORS	EXISTING	EXISTING		MODIFY AS REQ'D TO RECEIVE CARD READER DEVICE.	
340B	EXISTING DBL DOORS	EXISTING	EXISTING		MODIFY AS REQ'D TO RECEIVE CARD READER DEVICE.	
342A	EXISTING	EXISTING	EXISTING			
342B	EXISTING	EXISTING	EXISTING			
350A	EXISTING	EXISTING	EXISTING		MODIFY AS REQ'D TO RECEIVE CARD READER DEVICE.	
350B	EXISTING	EXISTING	EXISTING		MODIFY AS REQ'D TO RECEIVE CARD READER DEVICE.	
400	C	WD	HS-2		INSTALL CARD READER DEVICE.	
401A	C	WD	HS-3			
401B	C	WD	HS-3			
402	EXISTING	EXISTING	EXISTING			

403	EXISTING	EXISTING	EXISTING			
404	EXISTING	EXISTING	EXISTING			
405	EXISTING	EXISTING	EXISTING			
406	B	WD	HS-6		INSTALL CARD READER DEVICE.	
408A	B	WD	HS-6		INSTALL CARD READER DEVICE.	
408B	B	WD	HS-6		INSTALL CARD READER DEVICE.	
410	B	WD	HS-2		INSTALL CARD READER DEVICE.	
411	EXISTING	EXISTING	EXISTING			
412	EXISTING	EXISTING	EXISTING			
413	EXISTING	EXISTING	EXISTING			
414	A	WD	HS-1			
416	EXISTING	EXISTING	EXISTING			
417	EXISTING	EXISTING	EXISTING			
418	EXISTING	EXISTING	EXISTING			
421	EXISTING	EXISTING	EXISTING			
422	EXISTING	EXISTING	EXISTING			
423	EXISTING	EXISTING	EXISTING			
424	EXISTING	EXISTING	EXISTING			
425	EXISTING	EXISTING	EXISTING			
429	EXISTING	EXISTING	EXISTING		MODIFY AS REQ'D TO RECEIVE CARD READER DEVICE.	
430A	EXISTING	EXISTING	EXISTING			
430B	EXISTING	EXISTING	EXISTING			
431	EXISTING	EXISTING	EXISTING		MODIFY AS REQ'D TO RECEIVE CARD READER DEVICE.	
432	EXISTING	EXISTING	EXISTING			
433	EXISTING	EXISTING	EXISTING			
434	EXISTING	EXISTING	EXISTING			
435	EXISTING	EXISTING	EXISTING			
436	EXISTING	EXISTING	EXISTING			
437	B	WD	HS-4			
438	A	WD	HS-3		INSTALL KICKPLATE TO MATCH HARDWARE FINISH.	
439A	EXISTING	EXISTING	EXISTING			
439B	EXISTING	EXISTING	EXISTING			
439C	EXISTING	EXISTING	EXISTING			
440A	EXISTING DBL DOORS	EXISTING	EXISTING			
440B	EXISTING DBL DOORS	EXISTING	EXISTING			
441	B	WD	HS-1			
442A	EXISTING	EXISTING	EXISTING			
442B	EXISTING	EXISTING	EXISTING			
443	B	WD	HS-3		INSTALL KICKPLATE TO MATCH HARDWARE FINISH.	
445	EXISTING DBL DOORS	EXISTING	EXISTING			
446	EXISTING	EXISTING	EXISTING		MODIFY AS REQ'D TO RECEIVE CARD READER DEVICE.	
450A	EXISTING	EXISTING	EXISTING		MODIFY AS REQ'D TO RECEIVE CARD READER DEVICE.	
450B	EXISTING	EXISTING	EXISTING		MODIFY AS REQ'D TO RECEIVE CARD READER DEVICE.	

Hardware Sets:

<b>HS-1 SINGLE NON-RATED DOOR WITH LATCHSET</b>  QTY 1-1/2 PAIR - BUTT HINGES QTY 1 - LEVER LATCHSET QTY 1 - BLDG STD. DOOR STOP QTY 1 SET - SILENCERS	<b>HS-2 SINGLE NON-RATED DOOR WITH CARD READER</b>  QTY 1-1/2 PAIR - BUTT HINGES QTY 1 - LEVER LOCKSET QTY 1 - SURFACE MTD. CLOSER QTY 1 - ELECTRIC STRIKE QTY 1 - BLDG STD. DOOR STOP QTY 1 SET - SILENCERS
<b>HS-3 SINGLE NON-RATED LATCHING DOOR W/ CLOSER</b>  QTY 1-1/2 PAIR - BUTT HINGES QTY 1 - LEVER LOCKSET QTY 1 - SURFACE MTD. CLOSER QTY 1 - BLDG STD. DOOR STOP QTY 1 SET - SILENCERS	<b>HS-4 SINGLE NON-RATED DOOR WITH LOCKSET</b>  QTY 1-1/2 PAIR - BUTT HINGES QTY 1 - LEVER LOCKSET QTY 1 - SURFACE MTD. CLOSER QTY 1 - ELECTRIC STRIKE QTY 1 SET - SILENCERS
<b>HS-5 SINGLE NON-RATED LATCHING DOOR W/ PANIC HARDWARE</b>  QTY 1-1/2 PAIR - BUTT HINGES QTY 1 - PANIC PUSH-BAR & LEVER LATCHSET QTY 1 - SURFACE MTD. CLOSER QTY 1 - BLDG STD. DOOR STOP QTY 1 SET - SILENCERS	<b>HS-6 SINGLE NON-RATED LATCHING DOOR W/ PANIC HARDWARE &amp; CARD READER</b>  QTY 1-1/2 PAIR - BUTT HINGES QTY 1 - PANIC PUSH-BAR & LEVER LATCHSET QTY 1 - SURFACE MTD. CLOSER QTY 1 - ELECTRIC STRIKE QTY 1 - BLDG STD. DOOR STOP QTY 1 SET - SILENCERS

DESIGN JPC  
DRAWN AN/CB  
CHECKED AN  
NO. 13-0503



09.30.13 Progress Set  
10.09.13 Permit / Bid Issue

Door Schedule and Hardware

I-10.2



Carillon Point B4000  
Floors 3 & 4  
4100 Carillon Pt.  
Kirkland, WA 98033

CITY OF KIRKLAND  
APPROVAL FOR SUBMITTAL

Type of Review	
Building	Exp. F. Reg.
Building <u>11/1/10</u>	<u>X</u>
Planning <u>11/18/2013</u>	
Public works <u>11/18/2013</u>	

No P.W.  
review needed

NO PLANNING REVIEW  
NECESSARY

11/13 - per Kurt Miller, applicant  
this application does not involve any  
change in use (office-office) nor  
any external changes.

*[Signature]*

*[Handwritten signature]*

NOTICE  
HOURS OF OPERATION  
9AM TO 5PM, SAT. 9AM TO 12PM  
HOLIDAYS PER ICD 11.23  
Exceptions must be approved in  
writing by Planning Director

REVIEWED

DEC 04 2013

CITY OF KIRKLAND  
FIRE / BLDG

FINAL 44-14 BLDG  
DEPT FILE COPY

CITY OF KIRKLAND  
BUILDING DEPARTMENT

PERMIT #	BNR13-06685	PLAN CASE	BNR13-02061
ADDRESS	4400 CARILLON PT		
WORK CLASS	INTERIOR ALTERATION		
PROJECT	CARILLON PROPERTIES		
OWNER	CARILLON PROPERTIES		
DT SUBMITTED	11/18/2013		
DT APPROVED	12/4/13		
APPROVED BY	<i>[Signature]</i>		

Bld

BLDG DEPT FILE COPY